

ORDINANCE NO. _____

1 **AN ORDINANCE AMENDING ORDINANCE NO. 821104-F TO MODIFY THE**
2 **LAND USE PLAN AND CHANGE CONDITIONS OF ZONING FOR A PORTION**
3 **OF THE PROPERTY COMMONLY KNOWN AS LAKE AUSTIN COMMONS**
4 **PLANNED UNIT DEVELOPMENT AND REZONING AND CHANGING THE**
5 **ZONING MAP FOR THE PROPERTY LOCATED AT 1717 WEST 6TH STREET**
6 **AND 506 CAMPBELL STREET IN THE OLD WEST AUSTIN NEIGHBORHOOD**
7 **PLAN AREA FROM PLANNED UNIT DEVELOPMENT-NEIGHBORHOOD**
8 **PLAN (PUD-NP) DISTRICT TO PLANNED UNIT DEVELOPMENT-**
9 **NEIGHBORHOOD PLAN (PUD-NP) DISTRICT, TO CHANGE CONDITIONS OF**
10 **ZONING.**

11 **BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:**

12 **PART 1.** Lake Austin Commons Planned Unit Development (Lake Austin Commons PUD)
13 was approved November 4, 1982, under Ordinance No. 821104-F (“Original Ordinance”),
14 and amended under Ordinance Nos. 840607-F, 900628-B, 920528-J, and 20060727-122
15 (“Original Ordinance as amended”).

16 **PART 2.** Lake Austin Commons PUD is comprised of approximately 4.326 acres of land
17 located generally at 1717 West 6th Street, 1703 West 5th Street, and 506 Campbell Street, as
18 more particularly described in the land use plan incorporated into the Original Ordinance as
19 amended.

20 **PART 3.** The zoning map established by Section 25-2-191 of the City Code is amended to
21 change the base district from planned unit development-neighborhood plan (PUD-NP)
22 district to planned unit development-neighborhood plan (PUD-NP) district on a portion of
23 the property described in Ordinance No. 821104-F, generally known as Lake Austin
24 Commons PUD, the portion of the property subject to this amendment being approximately
25 3.399 acres, described in Zoning Case No. C814-82-006.02(83), on file at the Planning
26 Department, as follows:

27 **LOT 1, LAKE AUSTIN COMMONS, a subdivision in the City of Austin, Travis**
28 **County, Texas, according to the map or plat of record in Volume 83, Page 58C, of**
29 **the Plat Records of Travis County, Texas (the “Property”),**

30 **locally known as at 1717 West 6th Street and 506 Campbell Street, and generally identified**
31 **in the map attached as **Exhibit “A”**.**

34 **PART 4.** The attached exhibits are incorporated into this ordinance in their entirety as
35 though set forth fully in the text of this ordinance. The exhibits are as follows:

36 Exhibit A: Zoning Map

37 Exhibit B: Amended Land Use Plan

38 **PART 5.** This ordinance and the attached Exhibit "A" – Zoning Map and Exhibit "B" –
39 Amended Land Use, amend the Original Ordinance as amended for the Property and
40 constitute the land use plan for the Property. The Property shall conform to the limitations
41 and conditions set forth in this ordinance and the amended land use plan. If this ordinance
42 and the attached exhibits conflict, this ordinance controls. Except as otherwise specifically
43 modified by this ordinance, all other rules, regulations, and ordinances of the City of
44 Austin ("City") apply to the Property.

45 **PART 6. Definitions.**

- 46 (A) In this ordinance, LANDOWNER means the owner of the Property, or the
47 owner's successors and assigns, or the owner of the Property or that portion of
48 the Property at the time of dedication or transfer to City. Landowner does not
49 include City.
- 50 (B) In this ordinance, EXISTING PARKING GARAGE means the above grade
51 parking structure as constructed on the Property as of the date of this ordinance.
- 52 (C) Unless otherwise specifically defined, all terms in this ordinance shall have the
53 meaning established in Title 25 of Code of the City of Austin, Texas (the "Land
54 Development Code")

55 **PART 7. Land Use and Site Development Standards.**

56 The Property within the boundaries of the planned unit development (PUD) combining
57 district established by this ordinance is subject to the following conditions:

58 (A) Except as specifically modified by this ordinance or the Land Use Plan, the
59 Property shall be developed in accordance with the regulations applicable in the
60 general commercial services (CS) zoning district.

61 (B) The following uses are additional permitted uses of the Property:

Cocktail Lounge not to exceed
7500 square feet

Multifamily Residential

Townhouse Residential

Condominium Residential

Outdoor Sports and Recreation not
to exceed 25,000 square feet

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(C) The following uses are prohibited uses of the Property:

- | | |
|--|---------------------------------|
| Adult Oriented Business | Agricultural Sales and Services |
| Alternative Financial Services | Automotive Rentals |
| Automotive Repair Services | Automotive Sales |
| Automotive Washing (of any type) | Bail Bond Services |
| Bed & Breakfast (Groups 1 & 2) | Building Maintenance Services |
| Campground | Construction Sales and Services |
| Convenience Storage | Custom Manufacturing |
| Drop-Off Recycling Collection Facility | Electronic Prototype Assembly |
| Equipment Repair Services | Equipment Sales |
| Exterminating Services | Funeral Services |
| Kennels | Laundry Services |
| Limited Warehousing and Distribution | Monument Retail Sales |
| Outdoor Entertainment | Pawn Shop Services |
| Research Services | Services Station |
| Short Term Rental (Types 1, 2, and 3) | |

(D) Indoor Crop Production use is a conditional use of the Property.

(E) Lake Austin Commons PUD may include no more than one cocktail lounge limited to 7,500 square feet. The cocktail lounge shall not be located in the Existing Parking Garage on the Property and shall not front West 6th Street. Public access from West 6th Street to a cocktail lounge use is prohibited.

(F) One Outdoor Sports and Recreation use is permitted on the Property subject to the following limitations:

- (1) The hours of operation for the Outdoor Sports and Recreation are limited to 8:00 AM to 10:00 PM.
- (2) Parking for the Outdoor Sports and Recreation use is limited to the parking garage.
- (3) The Outdoor Sports and Recreation use must be located:
 - (a) On the top floor or rooftop of the Existing Parking Garage; or

84 (b) If the Existing Parking Garage modified to add additional floors,
85 anywhere on the Property except the new top floor or rooftop of the
86 parking garage as modified.

87
88 (4) The use of sound equipment for the Outdoor Sports and Recreation use is
89 prohibited.

90
91 (5) Any Outdoor Sports and Recreation use may not resume operations until
92 the requirements in Part 8 have been satisfied.

93
94 (G) If the Existing Parking Garage is modified to add additional floors, the rooftop
95 space of the garage as modified shall be limited to accessory uses. For purposes
96 of this section, the 10 percent limitation for accessory uses established in City
97 Code Section 25-2-894 (*Accessory Uses for a Principal Commercial Use*),
98 Subsection (B)(2), shall not apply.

99
100 (H) The maximum height of a building or structure is 90 feet plus additional height
101 allowed by Section 25-2-531 (*Height Limit Exceptions*).

102
103 (I) Development of the Property shall not exceed a floor to area ratio of 2 to 1.
104

105 **PART 8. Building and Design Standards.**

106
107 (A) Lighting. Landowner shall comply with the following lighting requirements:

108
109 (1) Landowner shall meet the Austin Energy Green Building Star Rating
110 System Light Pollution Reduction Criteria ST7 as outlined in the 2022
111 Commercial Rating System (or latest applicable version) for all buildings
112 and site lighting.

113
114 (2) For any Outdoor Sports and Recreation use, Landowner shall comply
115 with the City's Dark Sky regulations as follows:

116
117 (a) Use of low Kelvin rated lights (3000 Kelvin or less) for outdoor
118 lighting;

119
120 (b) Outdoor light visible north of West 6th Street shall be shielded on
121 all four sides of the light source;

122
123 (c) Exterior lighting may not exceed 0.0 foot candles beyond West 6th
124 Street.

125 (d) Focus light on activity and use activity appropriate lighting.
126

127 (B) Sound Barrier required for Outdoor Sports and Recreation Use.
128

129 (1) If the Outdoor Sports and Recreation use is located on the top floor or
130 rooftop of the Existing Parking Garage:

131 (a) A 10 foot sound barrier shall be installed on the top floor or
132 rooftop of the Existing Parking Garage, extending horizontally
133 along the entire length of the building facing 6th Street and along
134 the entire building facing Mopac Expressway. The sound barrier
135 shall:

- 136
137
138 (i) Extend 10 feet vertically from the floor plate of the top floor
139 of the Existing Parking Garage;
140
141 (ii) Be composed of a continuous, soundproofing material that is
142 one pound per square foot or greater to reduce noise;
143
144 (iii) Not be mounted atop the existing parapet of the parking
145 garage; and
146
147 (iv) Satisfy the requirements of any necessary permit or approval
148 as required by City.
149

150 (2) If the Outdoor Sports and Recreation use is not located on the top floor or
151 rooftop of the Existing Parking Garage in accordance with Part 7,
152 Subsection (F)(3)(ii) of this ordinance:

153 (a) A 10 foot sound barrier shall be installed on the Property
154 separating the Outdoor Sports and Recreation use from the western
155 Property line and West 6th. The sound barrier shall:

- 156
157
158 (i) Extend 10 feet vertically from the grade level of the Outdoor
159 Sports and Recreation use;
160
161 (ii) Be composed of a continuous, soundproofing material that is
162 one pound per square foot or greater to reduce noise;
163
164 (iii) Not be located further than 20 feet from the Outdoor Sports
165 and Recreation Use; and

- 166 (iv) Satisfy the requirements of any necessary permit or approval
167 as required by City.
168

169 **PART 9. Affordable Housing.**
170

- 171 (A) If residential units are included on the Property, Landowner shall satisfy the
172 affordable housing requirement as set out in this Part 9.
173
- 174 (B) Landowner shall provide 10 percent of the total residential units on the Property
175 as affordable units.
176
- 177 (C) An affordable unit constructed on the Property is subject to the following:
178
- 179 (1) Affordable Rental Units-
- 180
- 181 (a) An affordable rental unit shall be reserved as affordable for a
182 minimum of 40 years following the issuance of the certificate of
183 occupancy.
184
- 185 (b) An affordable rental unit shall be made available to a household
186 earning 80 percent or less of the current Austin-Round Rock
187 Metropolitan Statistical Area Median Family Income as
188 determined by the Director of the Housing Department.
189
- 190 (c) A fee in-lieu of this on-site affordability requirement is not
191 permitted.
192
- 193 (2) Affordable Owner-Occupied Units-
- 194
- 195 (a) An affordable owner-occupied unit shall be reserved as affordable
196 for a minimum of 99 years following the issuance of the certificate
197 of occupancy.
198
- 199 (b) An affordable owner-occupied unit shall be made available to a
200 household earning 80 percent or less of the current Austin-Round
201 Rock Metropolitan Statistical Area Median Family Income as
202 determined by the Director of the Housing Department.
203
- 204 (c) A fee in-lieu of this on-site affordability requirement is not
205 permitted.
206

- 207 (D) To satisfy the affordable housing requirements, Landowner must comply with
208 Division 1 (*General Provisions*), Article 2 (*Density Bonus and Incentive*
209 *Programs*) of Chapter 4-18 before applying for a site plan or building permit
210 that relies on code modifications as described in Part 12 (*Code Modifications*)
211 of this ordinance. Section 4-18-22 (*Pre-Certification Requirement*) shall not
212 apply.

213
214 **PART 10. Environmental.**

- 215
216 (A) Landowner shall provide and maintain water quality controls in accordance
217 with Chapter 25-8, Subchapter A, Article 6 (*Water Quality Controls*) of City
218 Code Title 25 in effect at the time of site plan submittal.
- 219
220 (B) Any structure built above the height of the existing building on the Property
221 must achieve a Threat Factor of 30 or less across each new building facade as
222 defined by the American Bird Conservancy (ABC) Bird Collision Deterrence:
223 Summary of Material Threat Factors dated October 2011.

224
225 **PART 11. Community Benefits.**

- 226
227 (A) Landowner shall allow persons living within the Old West Austin
228 Neighborhood Planning Area to use the existing first floor coworking space, as
229 available, at a rate that is 50 percent less than required of the general public.
230 The existing coworking space may be modified or eliminated.
- 231
232 (B) Landowner shall allow persons living within the Old West Austin
233 Neighborhood Planning Area use of the first floor conference room, as
234 available, free of charge. The existing first floor conference room may be
235 modified or eliminated.
- 236
237 (C) Landowner shall contribute to City, an amount equal to 25 percent of the total
238 project costs or \$250,000.00 dollars, whichever amount is less, towards costs to
239 improve the Johnson Creek Trail from West 5th Street to the Butler Trail
240 (“Butler Trail Contribution”). Landowner’s obligation to remit Butler Trail
241 Contribution is contingent upon City, or City in coordination with a non-profit,
242 beginning construction of improvements within three years of the effective date
243 of this ordinance. Landowner shall deliver to City the total amount of Butler
244 Trail Contribution within 90 days of City’s written request to Landowner for
245 Butler Trail Contribution. City’s written request to Landowner will include an
246 estimate for total project costs.
- 247

- 248 (D) The landowner will work with the City of Austin Transportation and Public
249 Works Department to restrict vehicle access from the existing above grade
250 parking garage to north West 6th Street.
251

252 **PART 12. Code Modifications.**
253

254 In accordance with City Code Chapter 25-2, Subchapter B, Article 2, Division 5,
255 Section 2.2, Council modifies the following site development regulations which shall
256 apply to the PUD instead of otherwise applicable City regulations:
257

258 (A) General Requirements and Procedures
259

260 City Code Section 25-2-144(D) (*Planned Unit Development (PUD) District*
261 *Designation*) and 25-2, Subchapter B, Article 2, Division 5, Section 2.3.1(L) are
262 modified to allow Lake Austin Commons PUD to include less than 10 acres of
263 land without being characterized by special circumstances.
264

265 (B) Zoning
266

- 267 (1) Section 25-2-491 (*Permitted, Conditional and Prohibited Uses*) is
268 modified to establish the specific set of permitted, conditional, and
269 prohibited uses on the Property in Part 7.
270
271 (2) Section 25-2-492 (*Site Development Regulations*) is modified to establish
272 the principal site development regulations applicable to the Property in
273 Part 7.
274
275 (3) Section 25-2-894 (*Accessory Uses for a Principal Commercial Use*) is
276 modified to eliminate the 10% limitation for accessory uses for the uses
277 described in Part 7(G).
278

279 (C) Except as provided in Subsection (D), an existing building on the Property is
280 subject to City Code in effect on August 7, 2006, unless:
281

- 282 (1) New development is 125,000 square feet or more; or
283
284 (2) An existing building is demolished in its entirety.
285

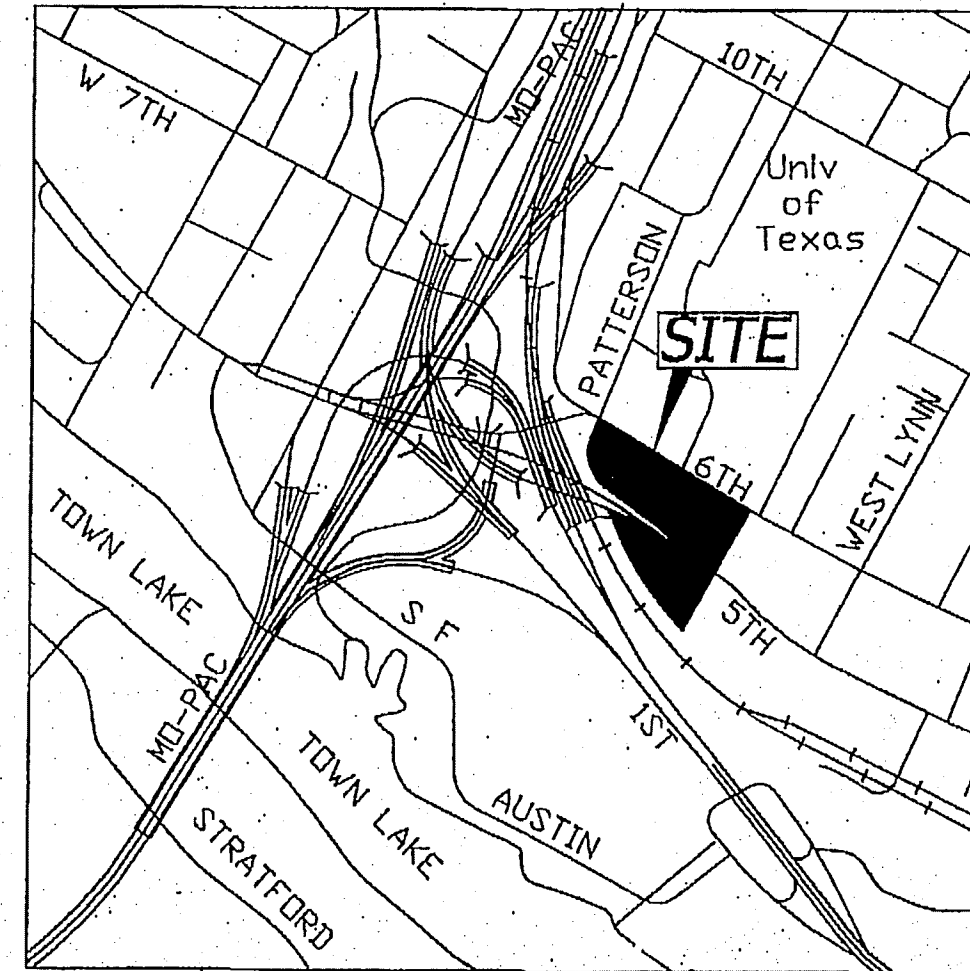
286 (D) An existing building is subject to the rules and regulations in City Code Chapter
287 25-8 (*Environment*) in effect on the effective date of this ordinance and as may
288 be amended from time to time.

EXHIBIT "B"

P.U.D. SITE PLAN LAKE AUSTIN COMMONS

1717 W. 6TH STREET
AUSTIN, TEXAS 78703

OWNER: LAKE AUSTIN COMMONS, LTD.
1717 WEST 6TH STREET, SUITE 390
AUSTIN, TEXAS 78703
512.477.1312



LOCATION MAP
N.T.S.

INDEX OF SHEETS

1. COVER SHEET
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6. PHASE 1 LANDSCAPE PLAN
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18. BUILDING CROSS SECTIONS (ULTIMATE)
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21. BUILDING FOOTPRINTS
22. BUILDING FOOTPRINTS
23. BUILDING FOOTPRINTS
24. BUILDING FOOTPRINTS
25. BUILDING FOOTPRINTS
26. LAKE AUSTIN COMMONS II FINAL PLAN
27. PHASE 4 SITE PLAN (REVISED)

28. PHASE 3 SITE PLAN (REVISED)

CORRECTIONS

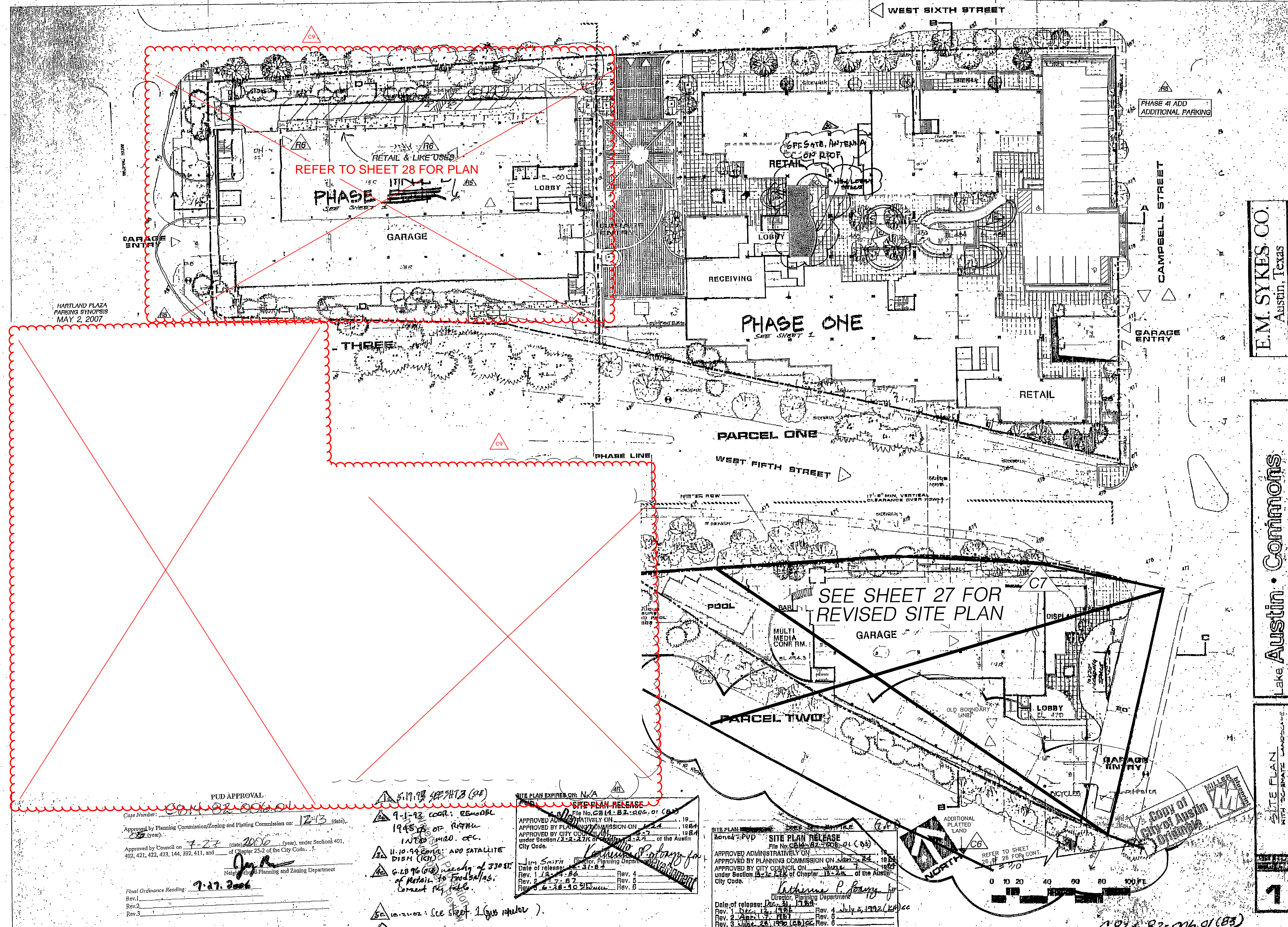
No.	Description	Revise(R)/ Add(A) Sheet No.'s	Total # Sheets In Plan Set	Net Change Imp. Cover	Site Imp. Cover	% Site Imp. Cover	Approved/Date
1	RECONFIG. OF LANDSCAPING PAVERS & PLANTERS OVER EAST. IMP. COVER IN OUTDOOR PLAZA						5-17-93
2	REMODEL 1,945 SF. OF RETAIL INTO MEDICAL OFFICE						9-1-93
3	ADDED 6' DIA. SATELLITE ANTENNA ON ROOF OF PHASE 1 BUILDING						1-10-94
4	USE CHANGE OF 330 SF. OF RETAIL TO FOOD SALES CORRECTED PARKING TABLE						6-28-96
5	REMODEL LOBBY AND ENCLOSE 450 SF. FOR LOBBY EXPANSION CORRECTED PARKING TABLE						10-22-02
6	ADDED PARKING TABLE FOR PHASE 4 CLARIFY I.C. TABLE, ADD SUP 26	23, 24, 25, 26, 27, 28	26	N/A	N/A		3/10/07
7	REVISED SITE PLAN FOR PHASE 4	23, 24, 25, 26, 27, 28	27	N/A	N/A		7/10/07
8	REVISED SITE PLAN FOR PHASE 4	23, 27, 28	27	N/A	N/A		7/10/07
9	REVISE SITE PLAN 1	2, 3, 27, 28	28	N/A	N/A		

REVISIONS

No.	Description	Revise(R)/ Add(A) Sheet No.'s	Total # Sheets In Plan Set	Net Change Imp. Cover	Site Imp. Cover	% Site Imp. Cover	Approved/Date
1							12-12-86
2							4-7-87
3							6-28-90
4							7-2-92
5	REVISED PHASING, PARKING TABLES BUILDING ELEVATIONS ORGANIZED SHEET ORDER	ADDED SHEET 1, 13, 219 REVISED ALL OTHERS	25	-0-			12-21-04
6	CHANGED USE ON 1ST FLOOR GARAGE AND ADDED 1 PARKING SPACE	2, 3, 12, 13, 14, 17	25	+167 SF			10-19-05
7	REVISED PARKING AND PHASING TABLES	REVISED 2, 3, 13, 14, 17	25	-0-			

APPROVED
JUN 11 2008
CITY OF AUSTIN
WPDR
DEVELOPMENT SERVICES

PUD APPROVAL
Case Number: C814-82-006.01
Approved by Planning Commission/Zoning and Platting Commission on: 12-13 (date),
2008 (year).
Approved by Council on: 7-27 (date), 2008 (year), under Sections 401,
402, 421, 422, 423, 144, 392, 411, and of Chapter 25-2 of the City Code.
Neighborhood Planning and Zoning Department
Final Ordinance Reading: 7-27-2008
Rev. 1: Corr. 7
Rev. 2: Corr.
Rev. 3: Corr.



AUSTIN COMMONS P.U.D.

Lake Austin Financial Plaza
Interim Parking Planning Revision
1717 West 6th Street
Austin, Texas 78703

E.M. SYKES, CO.
Austin, Texas

Lake Austin Commons

1
SITE PLAN
WITH SUPPLEMENTAL LAYOUTS

REVISIONS

APPROVED *[Signature]*
JUN 11 2010
CITY OF AUSTIN
DEVELOPMENT SERVICES

PROJECT NUMBER:
DATE ISSUED: JUNE 26, 1990
DRAWN BY: BE
CHECKED BY: BE

PHASE 1-4 SITE PLAN
SHEET 03 OF 28
REPLACEMENT SHEET

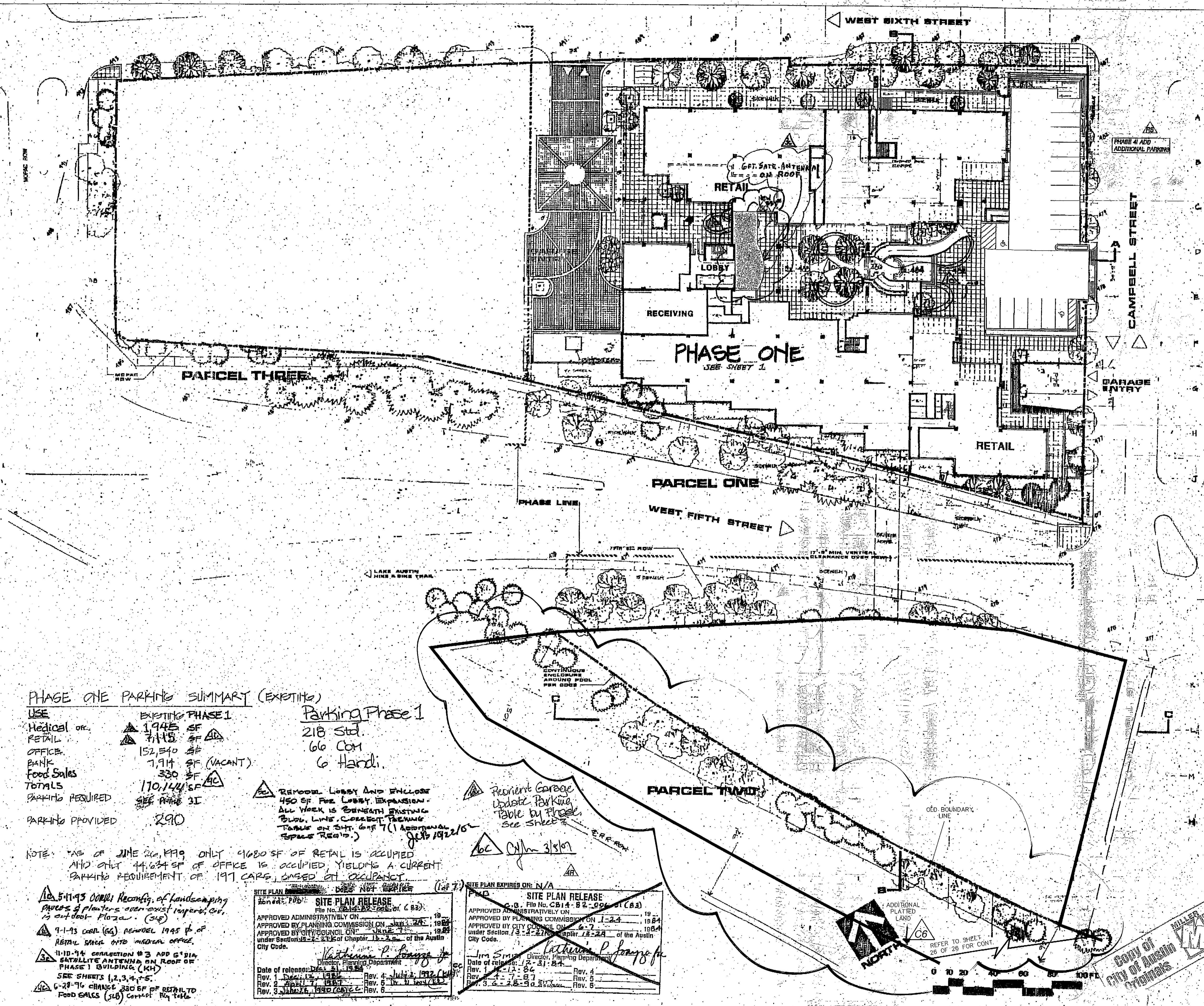
PUD APPROVAL
Case Number: *C814-82-006.01*
Approved by Planning Commission/Zoning and Platting Commission on: *12-13* (date), *2006* (year).
Approved by Council on *7-27* (date), *2006* (year), under Sections 401, 402, 421, 422, 423, 144, 392, 411, and of Chapter 25-2 of the City Code.
Final Ordinance Reading: *7-27-2006*
Rev. 1 _____
Rev. 2 _____
Rev. 3 _____

5-17-03 SEE SHEET 28 (SHE)
9-1-03 COOR: RECONSTR
1945 OR RPTHE
INTRO UNAD. CC.
11-10-99 CONTA: ADD SATELLITE
DISH (CON)
6-28-96 CONTA: SEE CHY OF 330 81
of Retail to Foodstuffs.
Current Reg. File.
10-21-02: See Sheet 1 (see notes)
03 3/5/07

SITE PLAN RELEASE
APPROVED ADMINISTRATIVELY ON *12-13-06*
APPROVED BY PLANNING COMMISSION ON *12-13-06*
APPROVED BY CITY COUNCIL ON *7-27-06*
under Section *25-2* of Chapter *25-2* of the Austin City Code.
Jim Smith Director, Planning Department
Date of release: *12-13-06* Rev. 1
7-27-06 Rev. 2
7-27-06 Rev. 3
7-27-06 Rev. 4
7-27-06 Rev. 5
7-27-06 Rev. 6

SITE PLAN RELEASE
Zoned: *PVD*
File No: *C814-82-006.01 (85)*
APPROVED ADMINISTRATIVELY ON *12-13-06*
APPROVED BY PLANNING COMMISSION ON *12-13-06*
APPROVED BY CITY COUNCIL ON *7-27-06*
under Section *25-2* of Chapter *25-2* of the Austin City Code.
Katherine P. Barry Director, Planning Department
Date of release: *Dec 31, 1983* Rev. 1
12-13-06 Rev. 2
7-27-06 Rev. 3
7-27-06 Rev. 4
7-27-06 Rev. 5
7-27-06 Rev. 6

C814-82-006.01 (85)



PHASE ONE PARKING SUMMARY (EXISTING)

USE	EXISTING PHASE 1	Parking Phase 1
Medical or:	1,945 SF	218 Std.
RETAIL	7,145 SF	66 Com
OFFICE	152,540 SF	6 Handl.
BANK	7,914 SF (VACANT)	
Food Sales	330 SF	
TOTALS	170,144 SF	
PARKING REQUIRED	SEE PHASE II	
PARKING PROVIDED	290	

NOTE: AS OF JUNE 20, 1999 ONLY 9180 SF OF RETAIL IS OCCUPIED AND ONLY 44,634 SF OF OFFICE IS OCCUPIED, YIELDING A CURRENT PARKING REQUIREMENT OF 197 CARS BASED ON OCCUPANCY.

- 5-11-93 CORRI Reconfig. of Landscaping Planter & planters over exist ramp, cur. in outdoor Plaza. (318)
- 9-1-93 CORRI (64) REMOVAL 1945 P. OF RETAIL SIGN INTO MODERN OFFICE.
- 11-10-94 CONNECTION #3 ADD G'DIA SATELLITE ANTENNA ON ROOF OF PHASE I BUILDING. (KH) SEE SHEETS 1, 2, 3, 4, 5.
- 6-28-76 CHANGE 330 SF OF RETAIL TO FOOD SALES (318) correct Pk table.

SITE PLAN RELEASE
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 1-24-03
 APPROVED BY PLANNING COMMISSION ON 1-24-03
 APPROVED BY CITY COUNCIL ON 1-24-03
 under Section 13-2-21 of Chapter 13-2 of the Austin City Code.
 Director, Planning Department
 Date of release: 1-24-03
 Rev. 1: 1-24-03
 Rev. 2: 1-24-03
 Rev. 3: 1-24-03
 Rev. 4: 1-24-03
 Rev. 5: 1-24-03
 Rev. 6: 1-24-03

SITE PLAN RELEASE
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 1-24-03
 APPROVED BY PLANNING COMMISSION ON 1-24-03
 APPROVED BY CITY COUNCIL ON 1-24-03
 under Section 13-2-21 of Chapter 13-2 of the Austin City Code.
 Director, Planning Department
 Date of release: 1-24-03
 Rev. 1: 1-24-03
 Rev. 2: 1-24-03
 Rev. 3: 1-24-03
 Rev. 4: 1-24-03
 Rev. 5: 1-24-03
 Rev. 6: 1-24-03

AUSTIN COMMONS P.U.D.

Lake Austin Financial Plaza
 Interim Parking Planning Revision
 1717 West 6th Street
 Austin, Texas 78703

E.M. SYKES CO.
 Austin, Texas

Lake Austin Commons

1

CONSULTANT

REVIEWERS

PROJECT NUMBER

DATE ISSUED: **JUNE 20, 1999**

DRAWN BY: **BE**

CHECKED BY: **BE**

SHEET TITLE

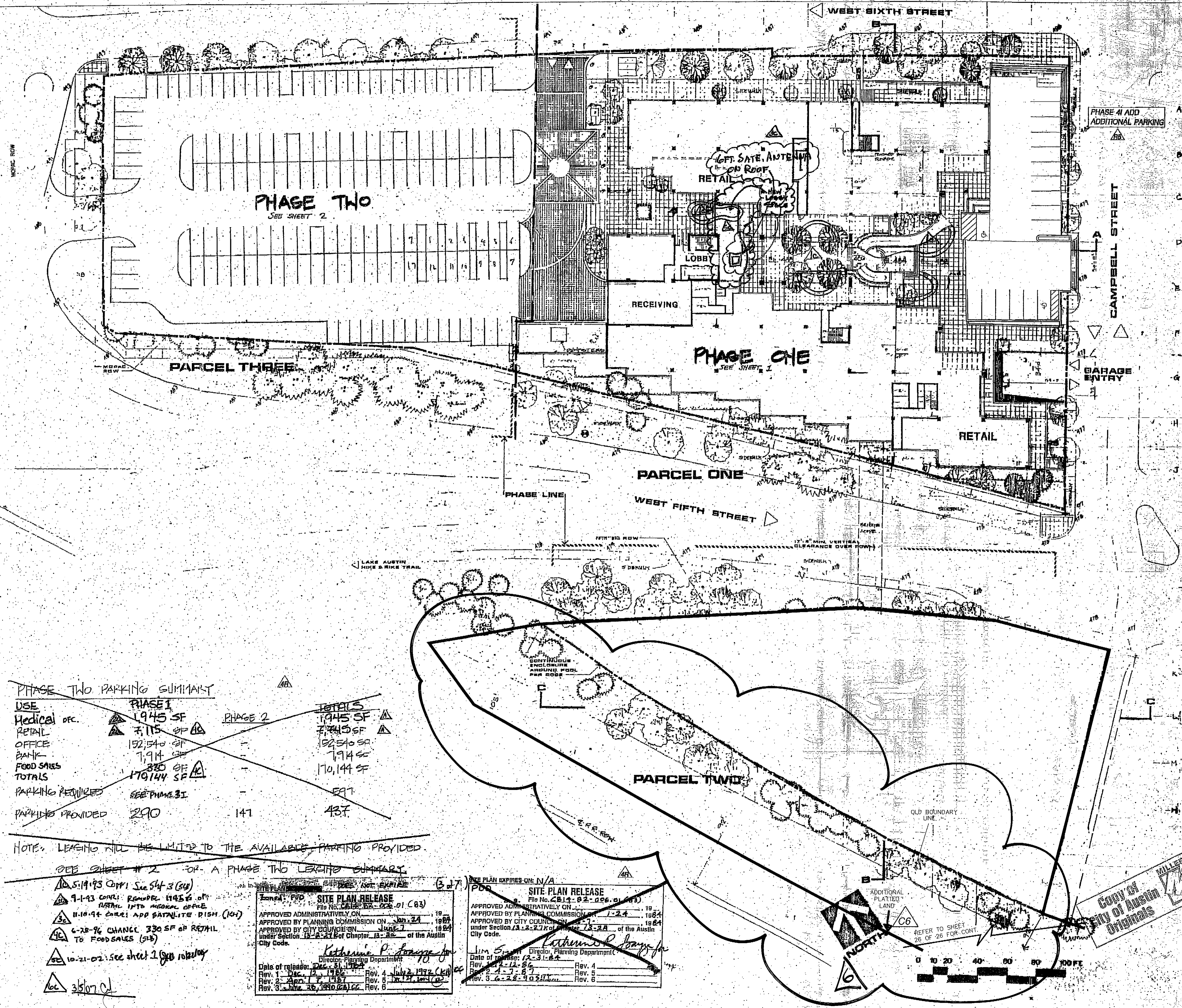
PHASE ONE SITE PLAN

SHEET NUMBER

SHEET 04 OF 26

C814-82-006.01 (83)

REPLACEMENT SHEET



PHASE TWO PARKING SUMMARY

USE	PHASE 1	PHASE 2	TOTALS
Medical off.	1,945 SF		1,945 SF
RETAIL	3,115 SF		3,115 SF
OFFICE	192,540 SF		192,540 SF
BANK	7,914 SF		7,914 SF
FOOD SALES	320 SF		320 SF
TOTALS	179,144 SF		179,144 SF
PARKING REQUIRED	SEE PHASE 3I		897
PARKING PROVIDED	290	147	437

NOTE: LEASING WILL BE LIMITED TO THE AVAILABLE PARKING PROVIDED.

SEE SHEET # 2 OR A PHASE TWO LEASING SUMMARY

10-5-1993 COMI See 54-3 (54)

9-1-93 COMI: REMOVE 1956 SF OF NORTH INTO MEDICAL OFFICE

11-16-94 COMI: ADD SATELITE DISH (104)

6-28-96 CHANGE 330 SF OF RETAIL TO FOOD SALES (518)

10-21-02: See sheet 2 (see 10/21/02)

10-31-02

SITE PLAN RELEASE
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 10-24-1993
 APPROVED BY PLANNING COMMISSION ON 10-24-1993
 APPROVED BY CITY COUNCIL ON 10-24-1993
 under Section 12-2-27 of Chapter 12-2 of the Austin City Code.
 Katherine P. Long for
 Director, Planning Department
 Date of release: 10-24-1993
 Rev. 1: 1-1-1994 Rev. 4: July 2, 1992 (KJ)
 Rev. 2: 1-1-1997 Rev. 5: 10-12-1993 (KJ)
 Rev. 3: June 26, 1990 (KJ) Rev. 6:

SITE PLAN RELEASE
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 1-24-1984
 APPROVED BY PLANNING COMMISSION ON 1-24-1984
 APPROVED BY CITY COUNCIL ON 1-24-1984
 under Section 12-2-27 of Chapter 12-2 of the Austin City Code.
 Katherine P. Long for
 Director, Planning Department
 Date of release: 1-24-1984
 Rev. 1: 1-24-1984 Rev. 4:
 Rev. 2: 1-24-1984 Rev. 5:
 Rev. 3: 1-24-1984 Rev. 6:

E.M. SYKES CO.
 Austin, Texas

Lake Austin Commons

SITE PLAN
 WITH SUBMITTAL

AUSTIN COMMONS
 P.U.D.

Lake Austin Financial Plaza
 Interim Parking Phasing Revision
 1717 West 6th Street
 Austin, Texas 78703

REVISIONS

NO.	DATE	DESCRIPTION
1	6/28/90	ISSUE FOR PERMITTING
2	6/28/90	ISSUE FOR PERMITTING
3	6/28/90	ISSUE FOR PERMITTING
4	6/28/90	ISSUE FOR PERMITTING
5	6/28/90	ISSUE FOR PERMITTING
6	6/28/90	ISSUE FOR PERMITTING
7	6/28/90	ISSUE FOR PERMITTING
8	6/28/90	ISSUE FOR PERMITTING
9	6/28/90	ISSUE FOR PERMITTING
10	6/28/90	ISSUE FOR PERMITTING
11	6/28/90	ISSUE FOR PERMITTING
12	6/28/90	ISSUE FOR PERMITTING
13	6/28/90	ISSUE FOR PERMITTING
14	6/28/90	ISSUE FOR PERMITTING
15	6/28/90	ISSUE FOR PERMITTING
16	6/28/90	ISSUE FOR PERMITTING
17	6/28/90	ISSUE FOR PERMITTING
18	6/28/90	ISSUE FOR PERMITTING
19	6/28/90	ISSUE FOR PERMITTING
20	6/28/90	ISSUE FOR PERMITTING
21	6/28/90	ISSUE FOR PERMITTING
22	6/28/90	ISSUE FOR PERMITTING
23	6/28/90	ISSUE FOR PERMITTING
24	6/28/90	ISSUE FOR PERMITTING
25	6/28/90	ISSUE FOR PERMITTING
26	6/28/90	ISSUE FOR PERMITTING

PHASE TWO
SITE PLAN

SHEET
 7 OF 26
 REPLACEMENT SHEET
 C814-82-006.01 (83)

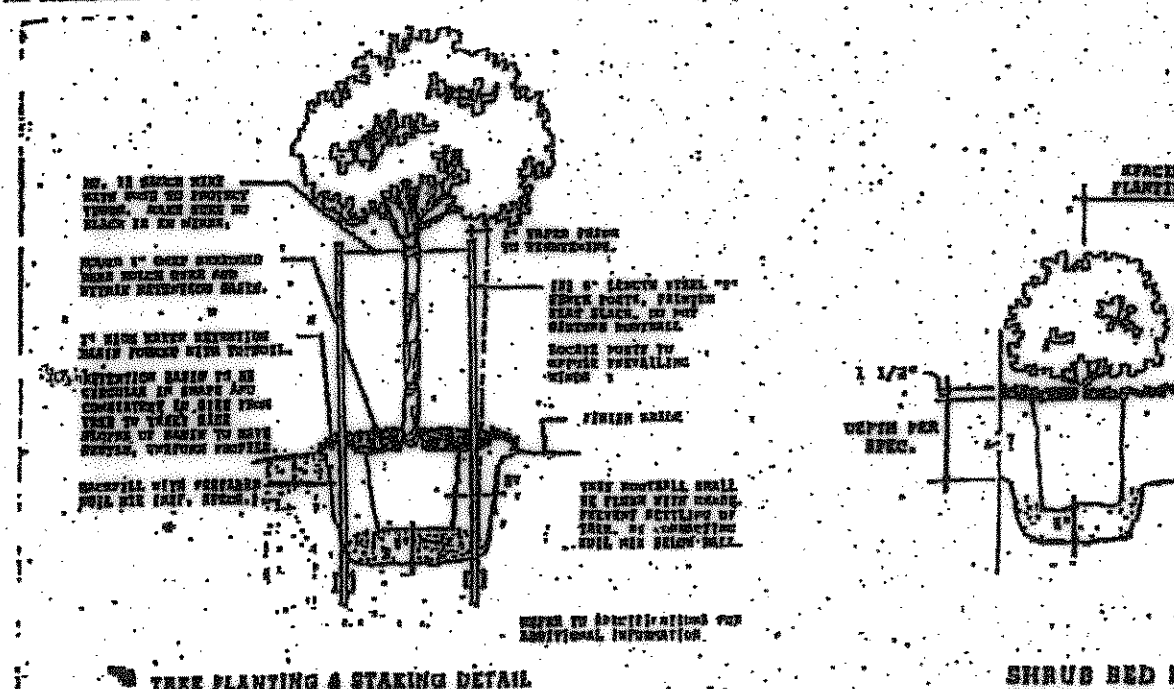
1	5" JAP. LIGUSTRUM	21	5" JAP. LIGUSTRUM
2	5" H.P. CHERRY	22	6" B. 10" HACKBERRY
3	5" JAP. LIGUSTRUM	23	5" YEW
4	5" JAP. LIGUSTRUM	24	5" HACKBERRY
5	5" JAP. LIGUSTRUM	25	5" HACKBERRY
6	5" JAP. LIGUSTRUM	26	5" BIRCH
7	5" JAP. LIGUSTRUM	27	5" LIVE OAK
8	5" JAP. LIGUSTRUM	28	5" LIVE OAK
9	5" JAP. LIGUSTRUM	29	5" LIVE OAK
10	5" JAP. LIGUSTRUM	30	5" RED OAK, H.T.
11	5" JAP. LIGUSTRUM	31	5" RED OAK, H.T.
12	5" JAP. LIGUSTRUM	32	5" JAP. BLACK PINE
13	5" JAP. LIGUSTRUM	33	5" JAP. BLACK PINE
14	5" JAP. LIGUSTRUM	34	5" JAP. BLACK PINE
15	5" JAP. LIGUSTRUM	35	5" JAP. BLACK PINE
16	5" JAP. LIGUSTRUM	36	5" JAP. BLACK PINE
17	5" JAP. LIGUSTRUM	37	5" JAP. BLACK PINE
18	5" JAP. LIGUSTRUM	38	5" JAP. BLACK PINE
19	5" JAP. LIGUSTRUM	39	5" JAP. BLACK PINE
20	5" JAP. LIGUSTRUM	40	5" JAP. BLACK PINE

THESE TREES COUNTED TOWARD STREET YARD TREE REQUIREMENT. TREE NOS. 7, 8 AND 12 COUNT DOUBLE CREDIT, AND ORIGINATE AREA OF THESE TREES ARE COUNTED DOUBLE CREDIT TOWARD LANDSCAPE AREA REQUIREMENT.

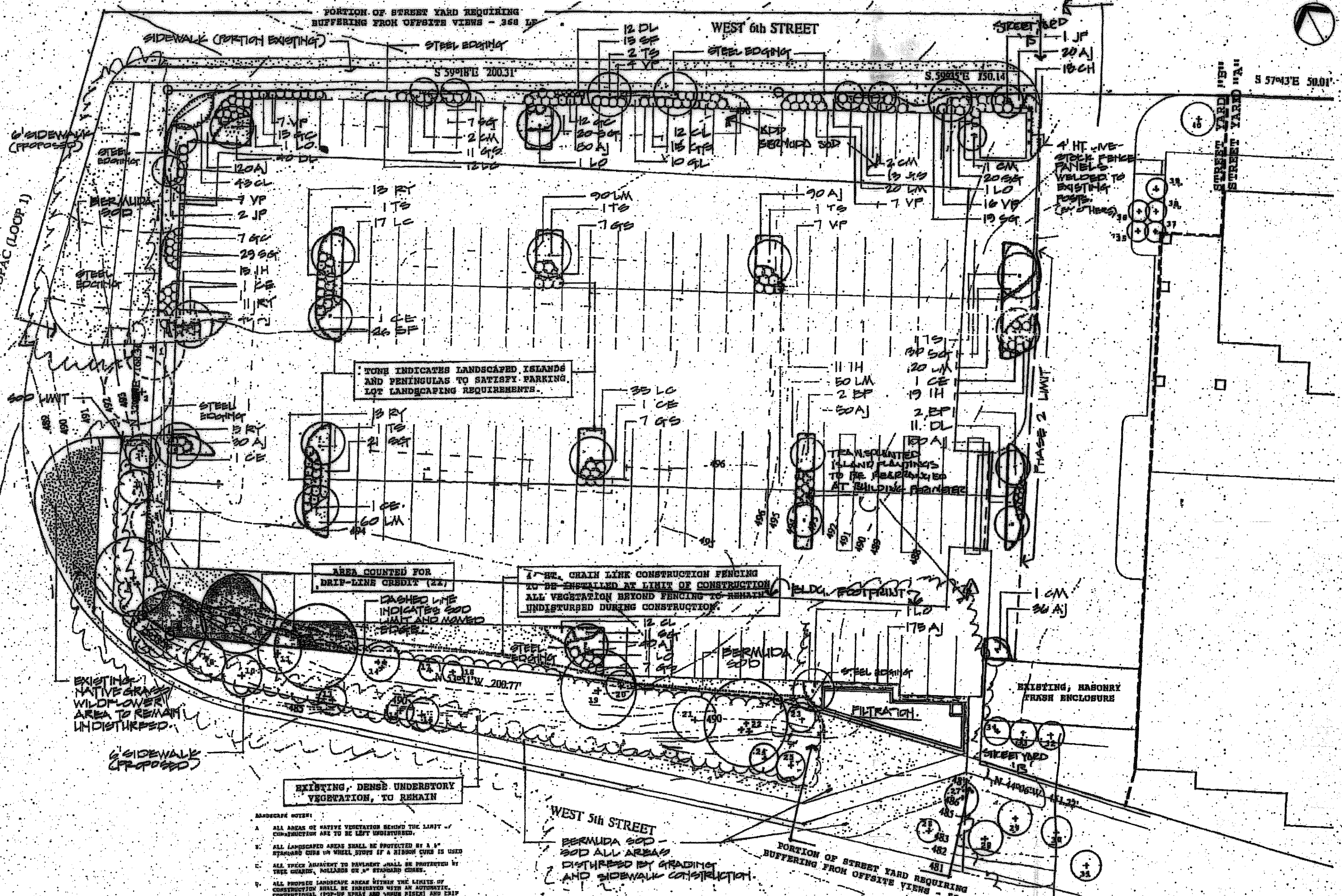
THESE NOS. 26 THRU 40 PLANTED IN PHASE 1 CONSTRUCTION.

DENSE UNDERSTORY VEGETATION ALONG W. 5TH STREET R.O.W., CONSISTS OF TREE SAPLINGS, PRINCE OF WELLES, SPICEBUSH, SPERMATOPHYTES, AGAVE, AMERICAN BRASSWOOD, PENNANT, AND OTHER TROPICAL SPECIES. THIS AREA WILL BE SELECTIVELY THINNED TO A MINIMAL EXTENT, UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT, TO REMOVE ONLY THOSE SPECIES WHICH ARE UNHEALTHY OR HIGHLY INVASIVE. THE DENSE SCREENING EFFECT THAT THIS AREA PROVIDES WILL BE MAINTAINED.

PLANT	AREA	QUANTITY	REMARKS
1	5" JAP. LIGUSTRUM	21	5" JAP. LIGUSTRUM
2	5" H.P. CHERRY	22	6" B. 10" HACKBERRY
3	5" JAP. LIGUSTRUM	23	5" YEW
4	5" JAP. LIGUSTRUM	24	5" HACKBERRY
5	5" JAP. LIGUSTRUM	25	5" HACKBERRY
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15	5" JAP. LIGUSTRUM	35	5" JAP. BLACK PINE
16	5" JAP. LIGUSTRUM	36	5" JAP. BLACK PINE
17	5" JAP. LIGUSTRUM	37	5" JAP. BLACK PINE
18	5" JAP. LIGUSTRUM	38	5" JAP. BLACK PINE
19	5" JAP. LIGUSTRUM	39	5" JAP. BLACK PINE
20	5" JAP. LIGUSTRUM	40	5" JAP. BLACK PINE



SUMMARY OF STREET YARD TREE REQUIREMENT (EXISTING & PROPOSED CONDITIONS)	REQUIREMENTS	EXISTING	PROPOSED
A. AREA OF STREET YARD	62,223 SF		
B. REQUIRED LANDSCAPE AREA IN STREET YARD	8,447 SF (10%)		
C. ACTUAL LANDSCAPE AREA IN STREET YARD	14,256 SF (23%)		
D. REQUIRED TREES IN STREET YARD	23		
E. ACTUAL TREES IN STREET YARD	32		
F. REQUIRED LANDSCAPE ISLANDS IN STREET YARD	90 SF		
G. ACTUAL LANDSCAPE ISLANDS IN STREET YARD	141 SF		



LANDSCAPE NOTES:

- ALL AREAS OF NATIVE VEGETATION WITHIN THE LIMITS OF CONSTRUCTION SHALL BE LEFT UNDISTURBED.
- ALL LANDSCAPED AREAS SHALL BE PROTECTED BY A 4" STAPLED CHAIN LINK FENCE WITH 1/2" RINGS AND 1/2" DIA. POSTS AT 6' ON CENTER.
- ALL TREES PLANTED TO REMAIN SHALL BE PROTECTED BY A 4" STAPLED CHAIN LINK FENCE WITH 1/2" RINGS AND 1/2" DIA. POSTS AT 6' ON CENTER.
- ALL PROPOSED LANDSCAPE AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM WITH 1/2" DIA. HEADS AND 1/2" DIA. PIPING AT 10' ON CENTER.
- THE OWNER SHALL MAINTAIN ALL EXISTING AND PROPOSED LANDSCAPE AREAS WITHIN THE LIMITS OF CONSTRUCTION UNTIL THE END OF THE PROJECT.
- ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED UNTIL THE END OF THE PROJECT.
- ALL EXISTING TREES SHALL BE MAINTAINED AND PROTECTED UNTIL THE END OF THE PROJECT.

ALTERNATIVE COMPLIANCE REQUESTED

I, PAUL C. SMITH, A PROFESSIONAL LANDSCAPE ARCHITECT, DO HEREBY CERTIFY THAT ALL INFORMATION SHOWN IS TRUE AND ACCURATE AND THAT THIS SATISFIES THE WRITTEN REQUIREMENTS OF THE LANDSCAPE REGULATIONS, CHAPTER 13-7, OF THE CITY OF AUSTIN LAND DEVELOPMENT CODE.

REVISIONS:

- 1. 01/24/02 SIGNALING & FILTRATION - REVISED PLANTING & LAYOUT

PHASE TWO LANDSCAPE PLAN

SHEET 8 OF 25

C814-82-006.01 (83)

Reviewed by: [Signature]

For Director of Department of Planning and Development Date: [Date]

APPROVED ADMINISTRATIVELY ON: [Date]

APPROVED BY CITY COUNCIL ON: [Date]

HOLT ARCHITECTS INC.

AUSTIN COMMONS P.U.D.

Lake Austin Financial Plaza
Interim Parking Phasing Revision

1717 West 6th Street
Austin, Texas 78703

CONSULTANT:

Landscape Architect
Belanger & Smith Associates

Civil Engineer
Bury & Pittman, Inc.

REVISIONS:

1. 01/24/02 SIGNALING & FILTRATION - REVISED PLANTING & LAYOUT

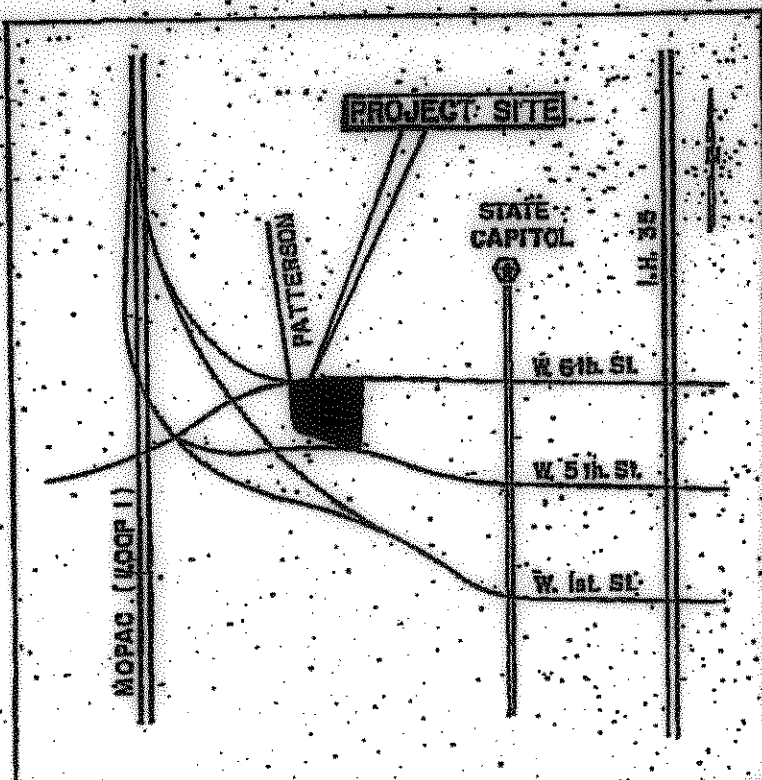
DATE: 01/24/02

SIGNATURE: [Signature]

PHASE TWO LANDSCAPE PLAN

SHEET 8 OF 25

C814-82-006.01 (83)



LOCATION MAP

BENCHMARKS

ORIGIN B.M. = RAILROAD SPIKE IN POWER POLE AT SOUTHWEST CORNER OF THE INTERSECTION OF WEST 6th STREET AND CAMPBELL STREET. ELEV. = 479.17

LEGEND

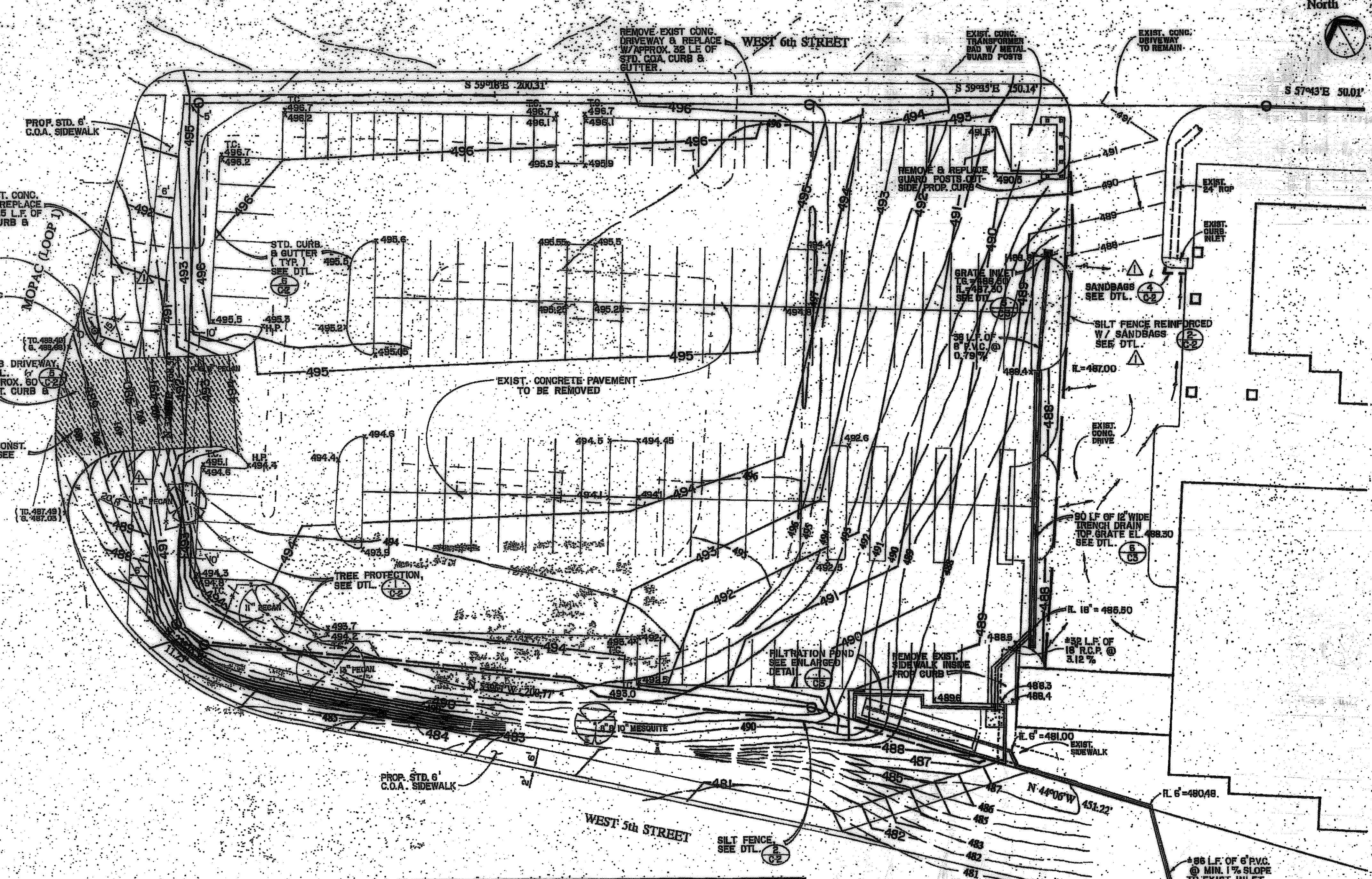
- EXIST. SPOT ELEV.
EXIST. CONTOUR
PROP. SPOT ELEV.
PROP. CONTOUR
DRAINAGE FLOW
TOP OF CURB
TREE TO REMAIN
TREE TO BE REMOVED

GENERAL CONSTRUCTION NOTES

- All responsibility for the adequacy of these plans remains with the engineer who prepared them.
Revised By:
Department of Planning and Development
Date:
SP-90-0088 D
Development Permit Number
Contractor shall call One Call Center (495-9170) for utility locations prior to any work in easements or street-right-of-way.
TEMPORARY EROSION AND SEDIMENTATION CONTROL METHODS
The schedule for installation of erosion and sedimentation control measures is as follows:
The contractor shall construct silt fence erosion control barriers prior to excavation.
The name and phone number of the designated representative for the owner/engineer who will have the authority to make appropriate changes to the sedimentation/erosion control plan, if it is discovered to be inadequate.
Bury & Pittman, Inc. 512/477-5369
Olympia Management Corporation 512/472-1588

- PERMANENT EROSION CONTROL
All disturbed areas shall be restored except as noted below.
A minimum of 4" of topsoil shall be placed in all drainage channels (except rock) and between curb and right-of-way lines.
The contractor shall hydromulch or sod all exposed cuts and fills upon completion of construction, except where cuts are made in solid rock.
The seeding or erosion control shall be applied at the specified rate over areas disturbed by construction as follows:
From September 15 to March 1, seeding shall be with a combination of 3 pounds per 1000 square feet of unhusked Bermuda and 7 pounds per 1000 square feet of Winter Rye with a purity of 98% with 90% germination.
From March 2 to September 14, seeding shall be with hulled Bermuda grass (Cynodon Dactylon) at the rate of 1 pound per 1000 square feet with a purity of 98% with 85% germination.
Fertilizer shall have an analysis of 20-20-10 and shall be applied at the rate of 500 pounds per acre.
Mulch to be cellulose fiber applied at a rate of 2000 pounds per acre.
Restoration shall be acceptable when the grass has grown at least 12" high with 95% coverage and no bare spots larger than 16 square feet exist.
The planted area shall be irrigated or sprinkled in a manner that will not erode the topsoil at 10-day intervals during the first two months at a rate sufficient to thoroughly soak the soil to a depth of 6 inches.
Rainfall occurrences of 1/2" or greater shall postpone the watering schedule 10 days.
Seeding shall be watered until uniform growth is established.
SEQUENCE OF CONSTRUCTION
Install erosion / sedimentation control and silt fence.
Construct filter pond (except for PVC underdrain and sand filter).
Grade site.
Pave parking and driveways.
Landscaping and restore disturbed areas.
Install PVC underdrain and sand filter.
Remove erosion and sedimentation control.
Owner's Name and Address:
Olympia Management Corporation
As Agent for Alsbromet Savings Bank, FSB
1717 W. 6th St., Suite 140
Austin, Texas 78703
Engineer's Name, Address and Telephone Number:
Bury & Pittman, Inc.
1401 Rio Grande, Suite 300
Austin, Texas 78701
512/477-5369

- A pre-construction conference shall be held subsequent to installation of the initial phase of the erosion and sedimentation controls and prior to beginning construction.
This project is located in the Town Lake Watershed (Urban).
This tract is not within the 100 year flood plain area as identified by the Federal Emergency Management Agency Flood Insurance Rate Map on Community Panel No. 480624-00758 for the City of Austin, Travis County, Texas.
This site plan has been previously approved as evidenced by Special Permit 89-01-1729 for the City of Austin.
Site Address:
1717 W. 6th Street
This site is exempt from the Comprehensive Watershed Ordinance by reason of platting and approval of site plan prior to the effective date of the ordinance.
Based on the prior approved site plan, this site is exempt from stormwater detention due to its close proximity to Town Lake.
Label Description:
Lot 1, LANE AUSTIN COMMONS, Bl. 85, Pg. 53C, Recorded January 12, 1988.
Off-Site disposal: The contractor shall not dispose of surplus excavated material from this site without notifying the Supervisor of Environmental Inspection at 499-2950 at least 48 hours prior to the removal. The notification shall include the disposal location and a copy of the permit issued to receive the material.



Scale: 1"=20'

North

AUSTIN COMMONS P.U.D.

Lake Austin Financial Plaza
Interim Parking Phasing Revision
1717 West 6th Street
Austin, Texas 78703

Landscape Architect:
Belanger & Smith Associates
Civil Engineer:
Bury & Pittman, Inc.



C14-82-006.01 (83)

All Responsibility for the adequacy of these plans remains with the engineer/architect/landscape architect (as applies) who prepared them. In approving these plans, the City of Austin must rely upon the adequacy of the work of the engineer/architect/landscape architect.

Reviewed By: Michael C. Morrison 7/2/90
For Director of Department of Planning and Development Date:

Bury & Pittman, Inc.
Consulting Engineers - Surveyors
B.P.I. JOB NO. 407-01.00

REVISIONS
6/29/90 PER C.O.A. COMMENTS
5/29/90 PER C.O.A. COMMENTS

PHASE TWO

SITE GRADING PLAN

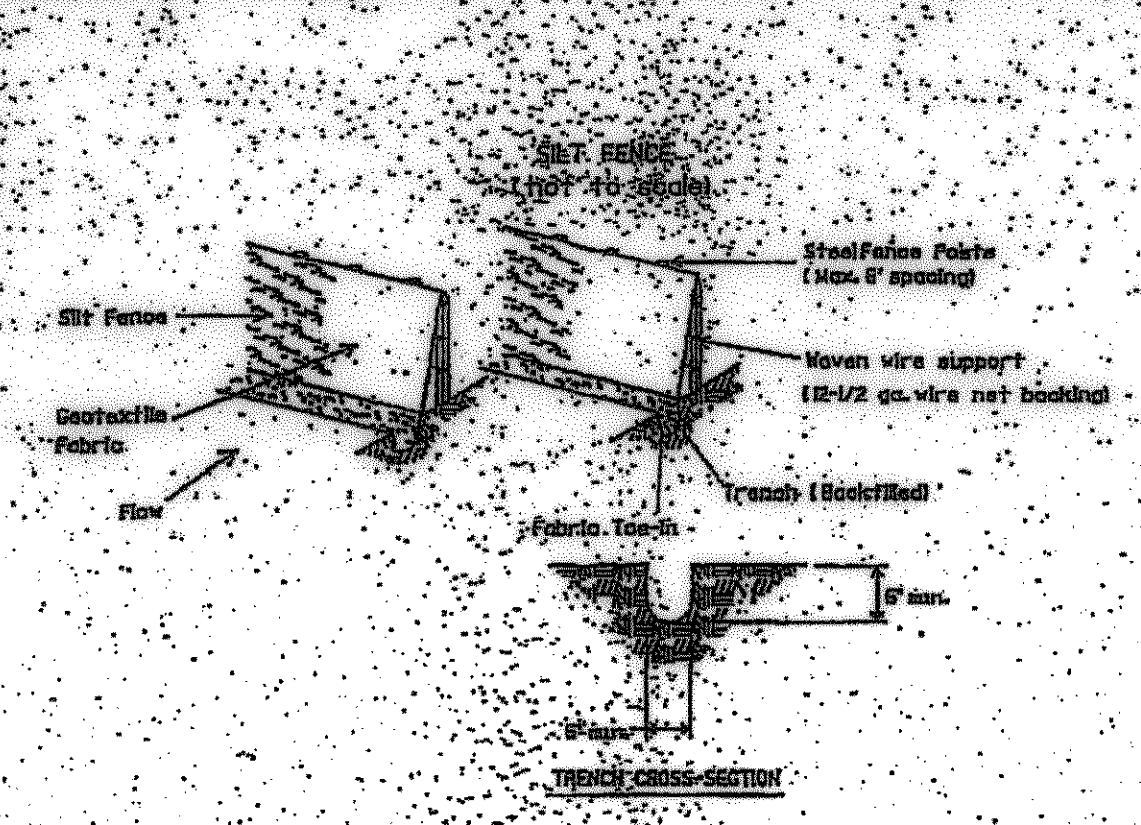
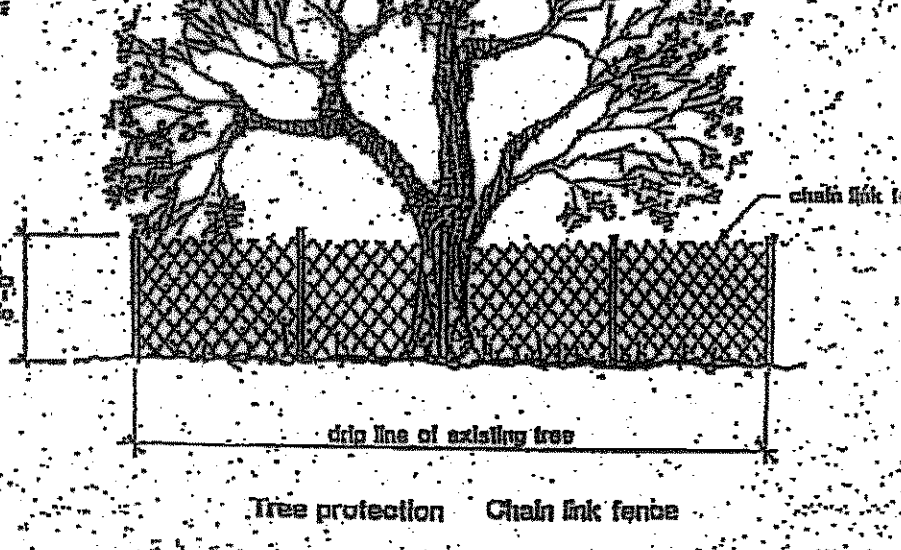
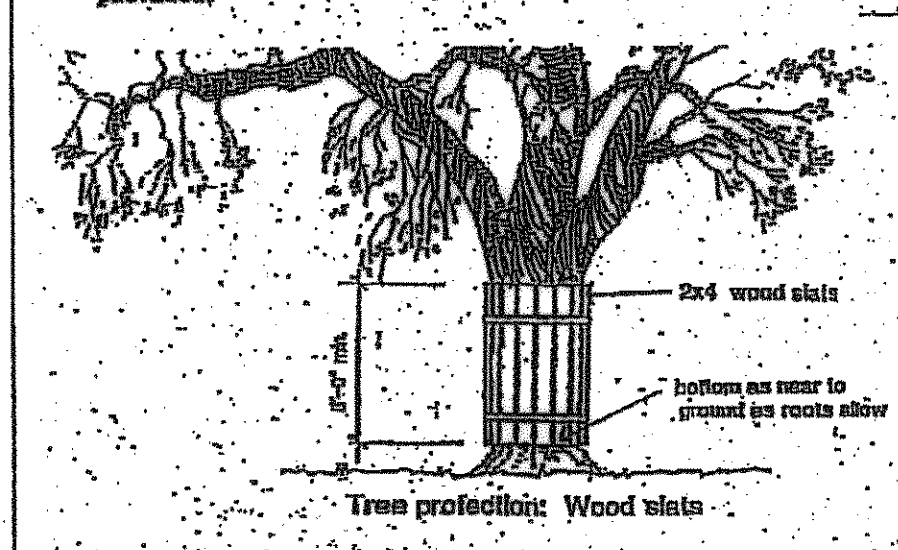
SHEET 9 OF 25
C814-82-006.01 (83)

FILE NUMBER: C814-82-006.01-83
SITE PLAN RELEASE
CASE MANAGER: [Signature]
REVIEWED FOR GENERAL COMPLIANCE ON: [Signature]
APPROVED BY PLANNING COMMISSION ON: [Signature]
Under Section 152.202 of Chapter 152, Title 1, of the Austin City Code.

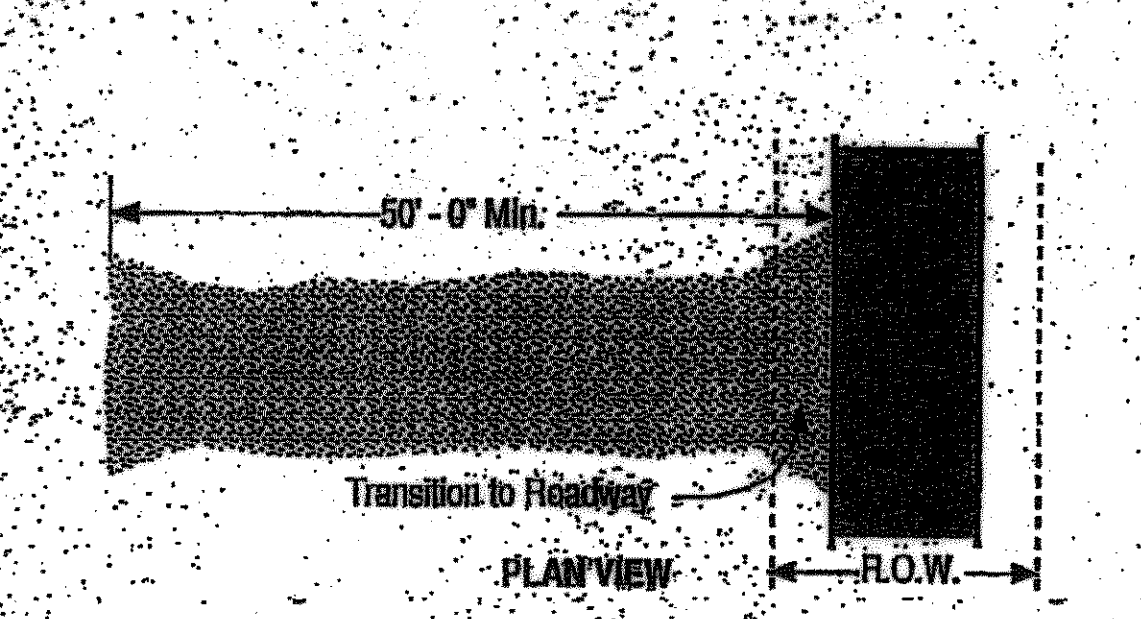
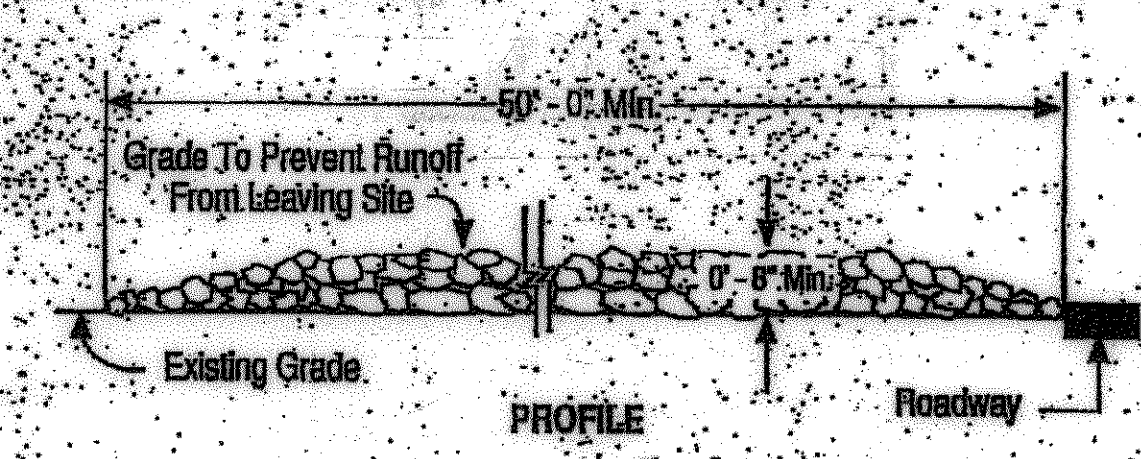
APPROVED
JUL 8 1990
PLANNING DEPT.

- All trees shown on this plan to be retained shall be protected during construction with temporary fencing.
- Tree protection fences shall be installed according to City of Land Development Standards for tree protection.
- Tree protection fences shall be installed prior to the commencement of any site preparation work (clearing, grubbing, or grading).
- Fences shall completely surround the trees or clusters of trees which are to be retained at the entrance limits of the tree branches (drillings) and will be maintained throughout the construction project in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or movement of equipment or materials.
 - Root zone disturbance due to grade changes (greater than 6 inches cut or fill) or trenching not reviewed and authorized by the City Engineer.
 - Methods to exposed roots, trunk or limbs by mechanical equipment.
 - Other activities detrimental to trees such as chemical storage, waste dump storage, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - Where possible paving is to be installed, erect the fence at the outer limits of the possible paving area.
 - Where trees are adjacent to proposed buildings, erect the fence as close as possible to the building.
 - Where there are special agency requirements due to street use, or other special requirements, contact the City Engineer at 495-2700 to discuss alternatives.
- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with a minimum of 2 inches of 2 inch diameter pipe or the trunk of a tree trunk in a diameter of 6 inches for the trunk of a tree trunk in a diameter of 6 inches in addition to the standard zoning provided.

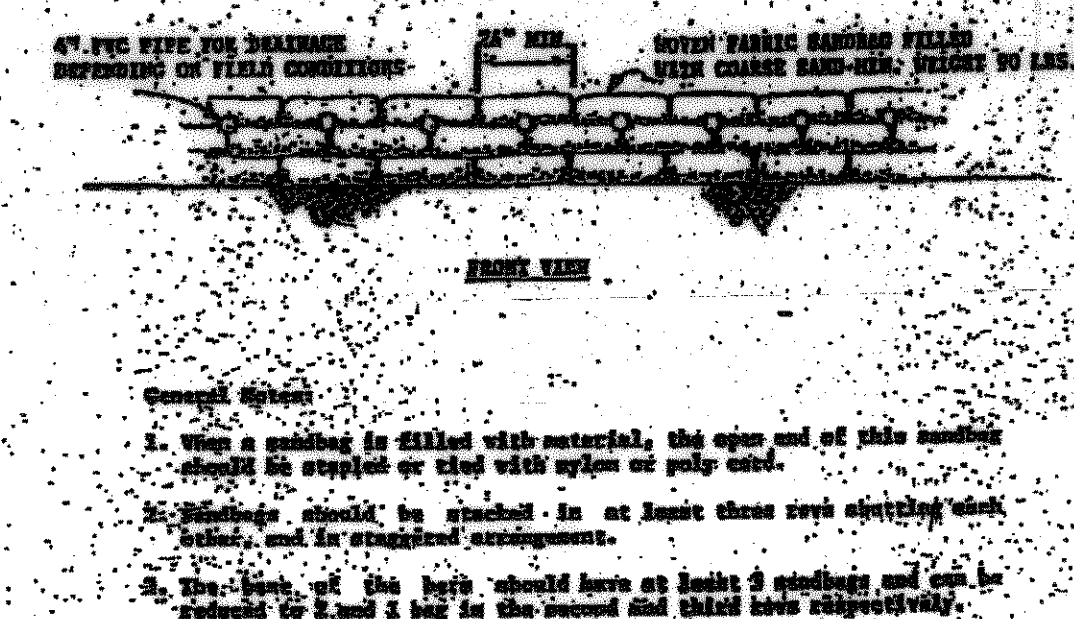
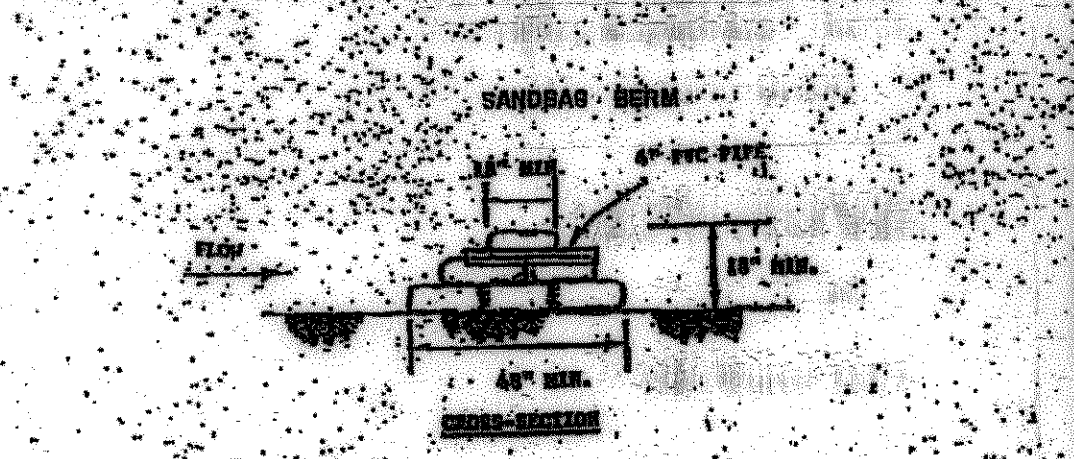
- Where any of the above exceptions result in areas of unprotected root zones (under drip lines), these areas should be protected with a minimum of 2 inches of mulch or similar material.
- All grading within protected root zones shall be done by hand or with small equipment to minimize root damage. Prior to grading, protect the root zones with a 2 inch layer of mulch or similar material.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. Exposed root areas are to be backfilled within 3 days, cover this with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Prior to excavation or grade cutting within tree drip lines, make a clean-cut between the disturbed and undisturbed root zones with a rock saw or similar equipment to minimize damage to remaining roots.
- Grades most heavily impacted by construction activities should be retained deeply over a week during periods of hot dry weather. Tree crews should be sprayed with water periodically to reduce dust accumulation on the leaves.
- Any trenching required for the installation of landscape irrigation shall be placed as far from existing tree trunks as possible.
- No landscape removal greater than 4 inches shall be permitted within the drip line of trees. No soil is to be removed on the root zone of any tree.
- Fencing or protective enclosures for structures, vehicular traffic and equipment shall take place before construction begins.
- All finished grading must be done according to recognized approved standards of the industry (Reference the National Arborist Association Grading Standards for shade trees. Available on request from the City Engineer).



- GENERAL NOTES:**
- Steelposts which support the silt fence shall be installed on a slight angle toward the anticipated runoff direction. Posts must be embedded a minimum of one foot.
 - The top of the silt fence shall be finished in with a spade or mechanical trencher, so that the downslope face of the trench is flat and perpendicular to the line of flow. Where fences can not be treated in this manner, fabric may still be washed gravel on uphill side, to prevent flow under fence.
 - The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material.
 - Silt fences should be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel fence post.
 - Inspection shall be made weekly or after each rainfall event and repair or replacement shall be made promptly, as needed.
 - Silt fences shall be removed when the site is completely stabilized so as not to block or impede storm flow or drainage.
 - Accumulated silt shall be removed when it reaches a depth of 6 inches. The silt shall be disposed of in an approved site and in such a manner as to not contribute to additional siltation.



- GENERAL NOTES:**
- Stone size - 3 to 5 inch upon graded rock.
 - Length - no restriction, but not less than 10 feet.
 - Thickness - not less than 6 inches.
 - Width - not less than full width of all points of ingress or egress.
 - Washing - when necessary, stone shall be cleaned to remove surface dirt. When washing is required, it shall be done on an area stabilized with crushed stone which slopes into approved storm drainage. All structures shall be protected from washing any stone down, dirt, or other debris into approved storm drainage.
 - Maintenance - the entrance shall be maintained in a condition which will prevent blocking or backing of untreated storm drainage. This may require periodic washing with additional stone in conditions shown, and repair and/or removal of any structure used to trap sediment. All sediment trapped, washed or impeded into storm drainage shall be removed immediately.
 - Drainage - entrance must be properly graded or topography of site shall be altered to prevent runoff from backing the construction site.



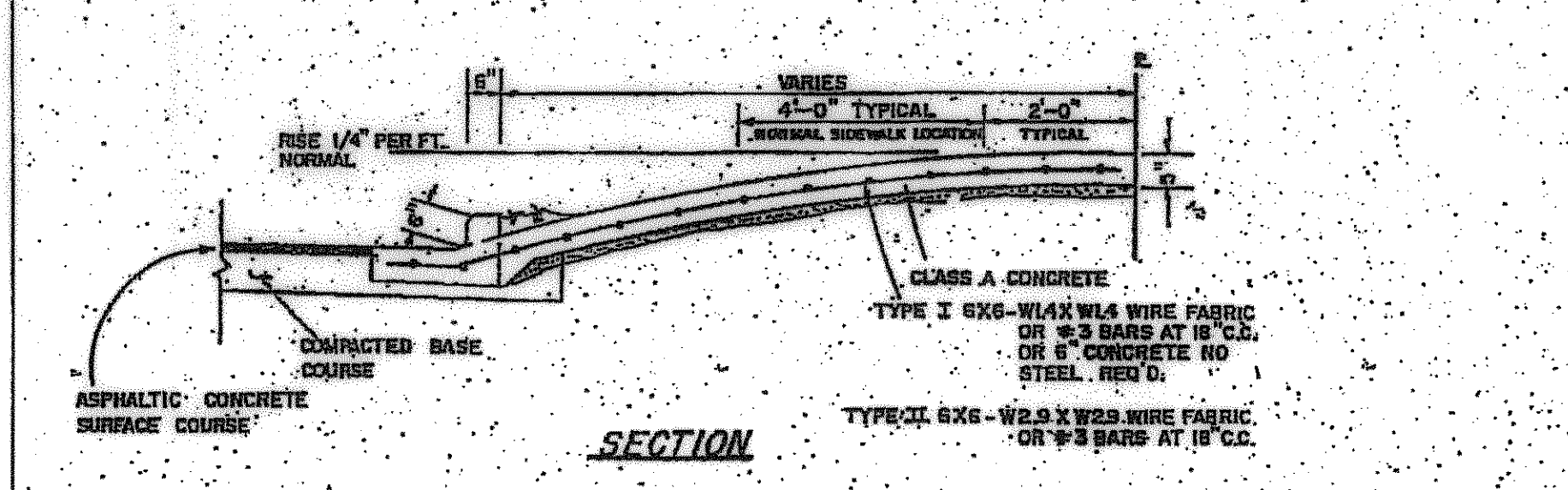
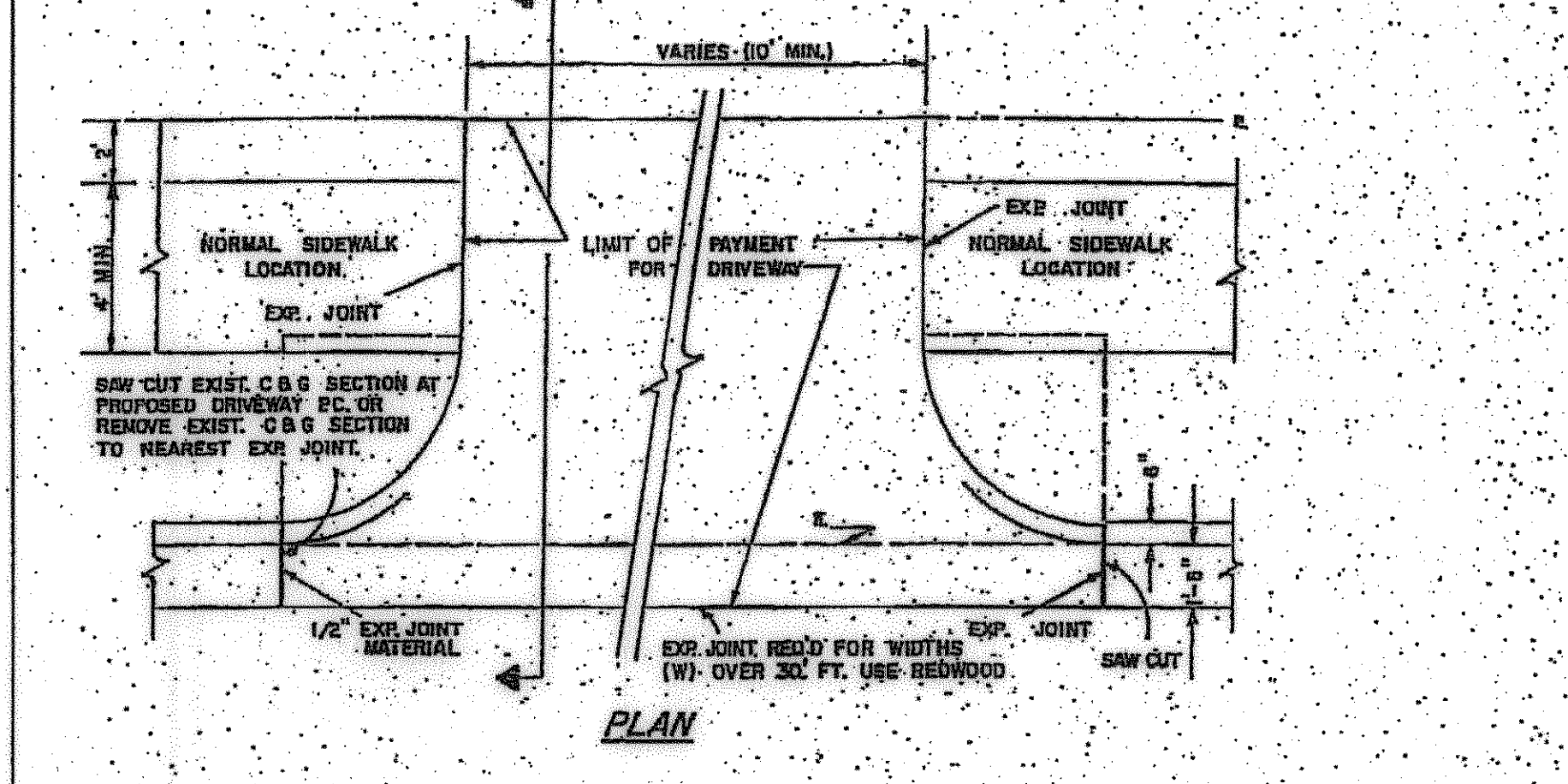
- GENERAL NOTES:**
- When a sandbag is filled with material, the open end of this sandbag should be applied or tied with nylon or poly cord.
 - Sandbags should be stacked in at least three rows adjacent to each other, and in staggered arrangement.
 - The top of the bags should have at least 2 sandbags and can be replaced by 2 and 1 bag in the second and third rows respectively.
 - The sandbag area shall be inspected after each rain. The sandbags shall be replaced or replaced as needed during construction. Repair shall be made for weathered construction traffic damage, etc.
 - Additional inspection shall be made daily by the contractor. With silt reaching a depth equal to 6 inches the silt shall be removed and disposed of in an approved site and in such a manner as to not create a siltation problem.
 - When the site is completely stabilized, the bags and accumulated sediment shall be removed and disposed of in an approved manner.

1 STANDARD TREE PROTECTION NOTES & DETAILS N.T.S.

2 SILT FENCE N.T.S.

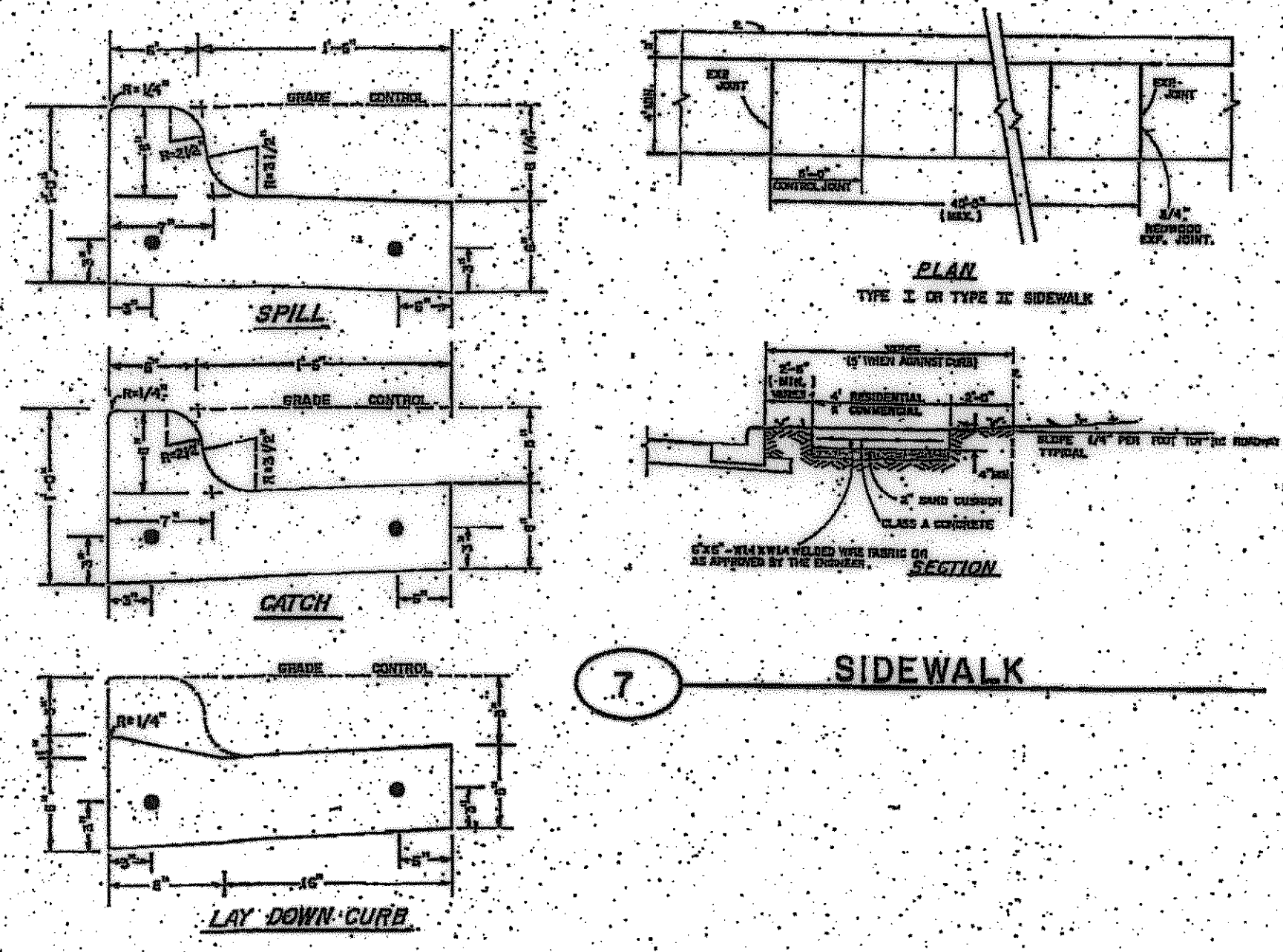
3 STABILIZED CONSTRUCTION ENTRANCE N.T.S.

4 SANDBAGS N.T.S.



- GENERAL NOTES:**
- MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CITY OF AUSTIN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - REINFORCING STEEL OR DOWEL BARS IF REQUIRED SHALL BE PLACED AS SHOWN.

5 ROLLED CURB DRIVEWAY (TYPE II) N.T.S.



- GENERAL NOTES:**
- MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO THE CITY OF AUSTIN STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
 - REINFORCING STEEL OR DOWEL BARS IF REQUIRED SHALL BE PLACED AS SHOWN.

6 STANDARD CURB & GUTTER N.T.S.

E/S CONTROL'S HYDRAULIC CALCULATIONS

SITE AREA = 1.24 ACRES
 SILT FENCE LENGTH = 495'
 Q = 5.88 cfs = 2640 gpm
 ALLOWABLE FLOW THROUGH RATE = 40 gpm / L.F.
 ACTUAL FLOW THROUGH RATE = 2640 gpm = 6.3 gpm / L.F. < 40 gpm / L.F. OK

All Responsibility for the adequacy of these plans remains with the engineer/architect/landscape architect (as applies) who prepared them. In approving these plans, the City of Austin must rely upon the adequacy of the work of the engineer/architect/landscape architect.

Reviewed by: *[Signature]* 7/24/90
 For Director of Department of Planning and Development Date

Bury & Pittman, Inc.
 Consulting Engineers - Surveyors
 B.P.I. JOB NO. 407-01.00

APPROVED
 JUL 9 1990
 PLANNING DEPT.

FILE NUMBER: C-14-82-006.01 SITE PLAN RELEASE SHEET 10 OF 25
 CASE MANAGER: K. HUGHES APPLICATION DATE: 7/24/90
 REVIEWED FOR GENERAL COMPLIANCE ON: 7/24/90
 APPROVED BY PLANNING COMMISSION ON: 7/24/90
 APPROVED BY CITY COUNCIL ON: 7/24/90
 Under Section 12-3-376 of Chapter 12-3A of the Austin City Code

Signing for Director, Watershed Protection & Development Review Department: *[Signature]*
 RELEASED FROM: GENERAL COMPLIANCE 12/11/94 ZONING: PUD
 Rev. 1: 12-31-91 Correction 1
 Rev. 2: Correction 2
 Rev. 3: Correction 3

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THEIR SUBMITTAL. WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

AUSTIN COMMONS P.U.D.

Lake Austin Financial Plaza
 Interim Parking Paving Revision

1717 West 6th Street
 Austin, Texas 78703

CONSULTANT:
 Landscape Architect
 Belinger & Smith Associates

Civil Engineer
 Bury & Pittman, Inc.

REVISIONS

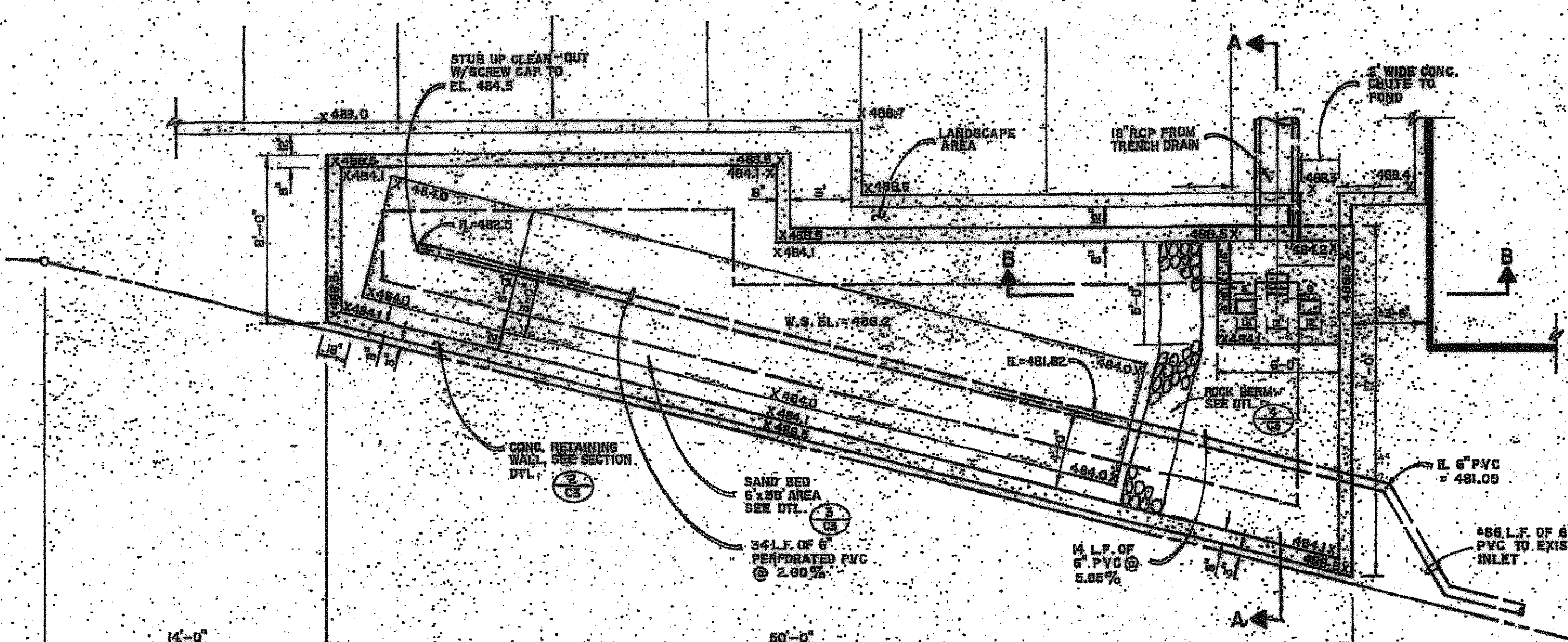
PROJECT NUMBER:
 DATE ISSUED:
 DRAWN BY: G.O.K.
 CHECKED BY: L.W.P.

5/29/90 PER C.O.A. COMMENTS

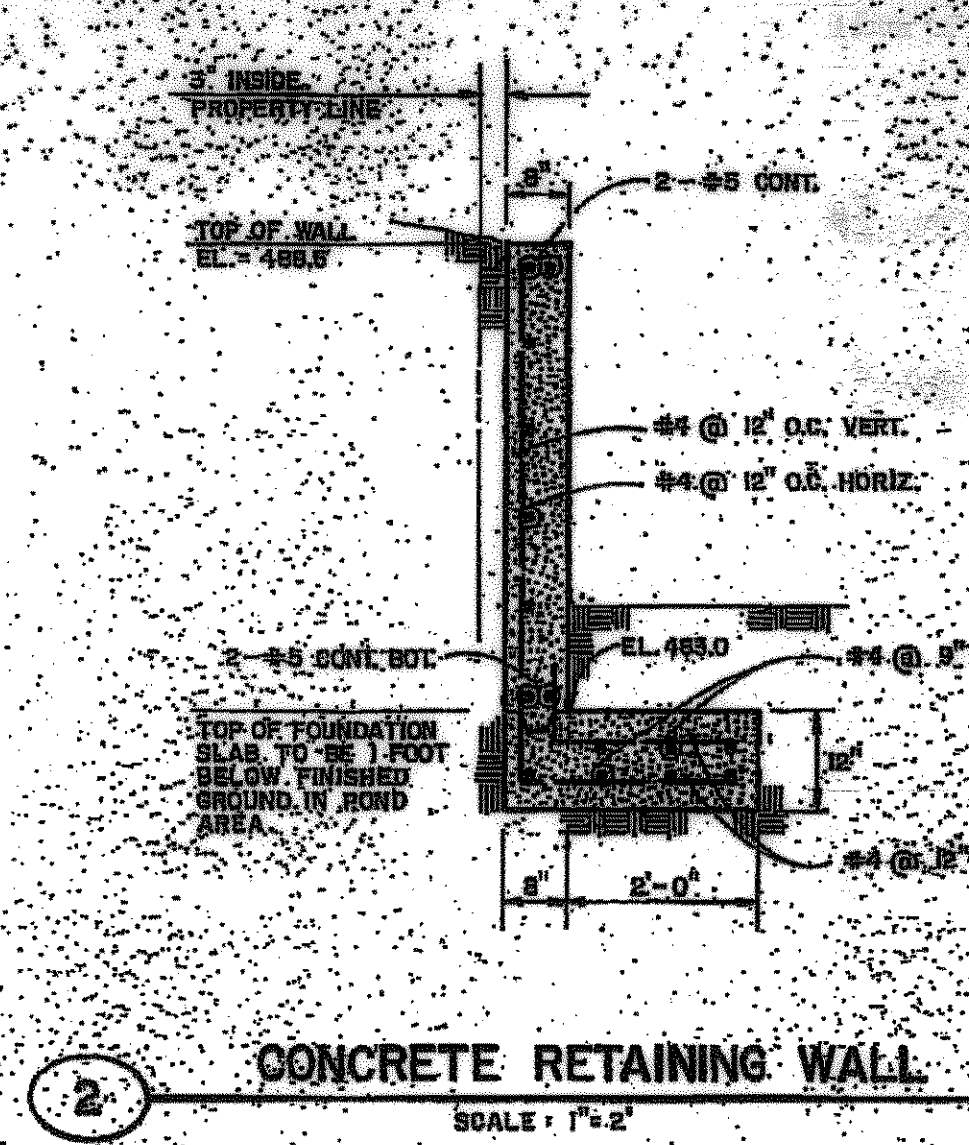
PHASE TWO

SITE GRADING DETAILS

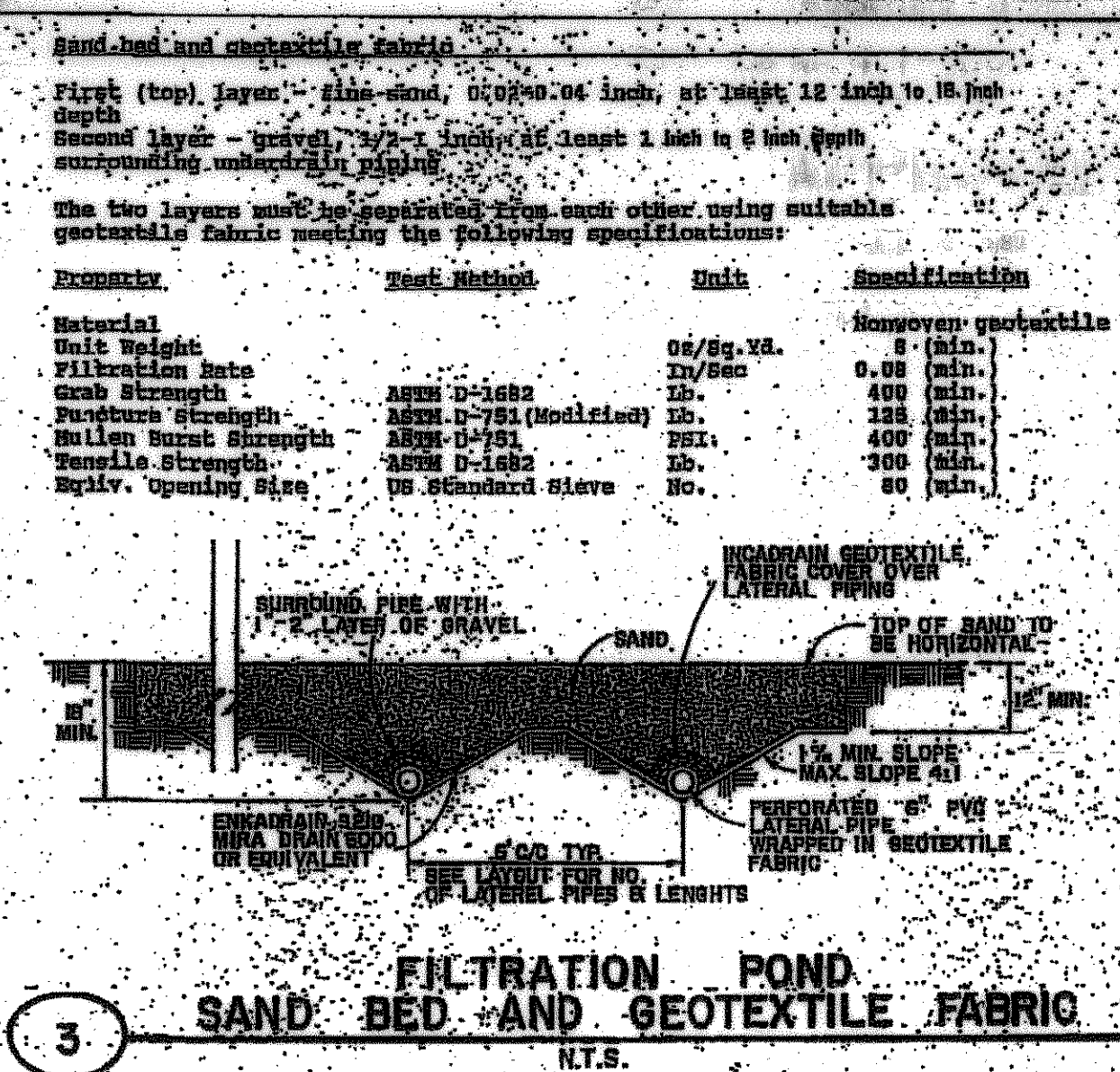
SHEET 10 OF 25
 C814-82-006.01 (83)



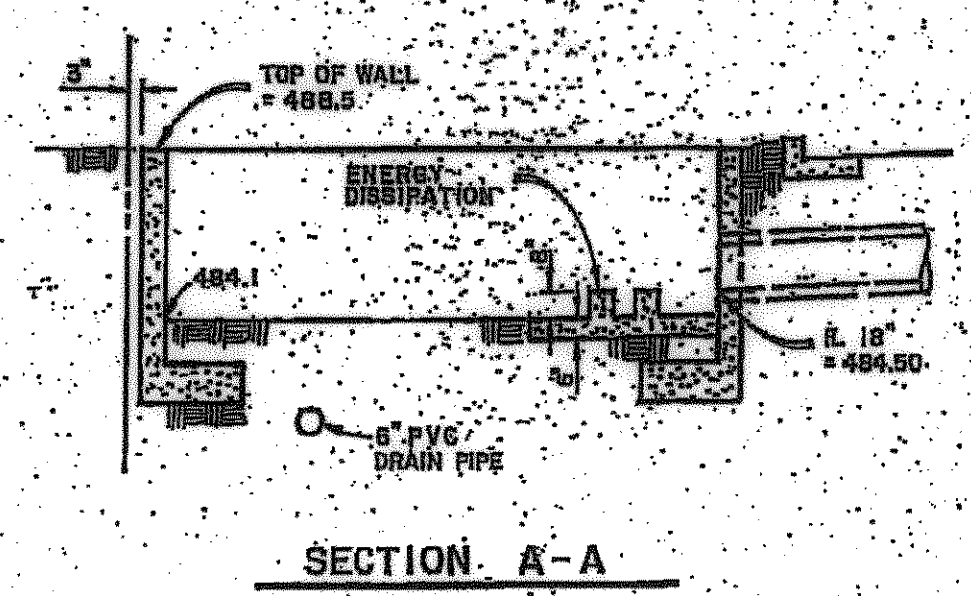
PLAN VIEW



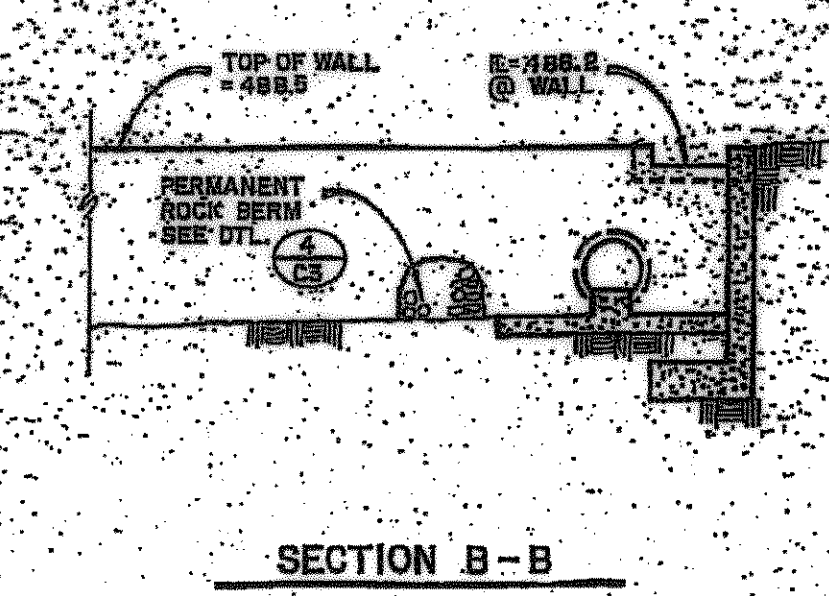
CONCRETE RETAINING WALL
SCALE: 1" = 2'



FILTRATION POND SAND BED AND GEOTEXTILE FABRIC
N.T.S.

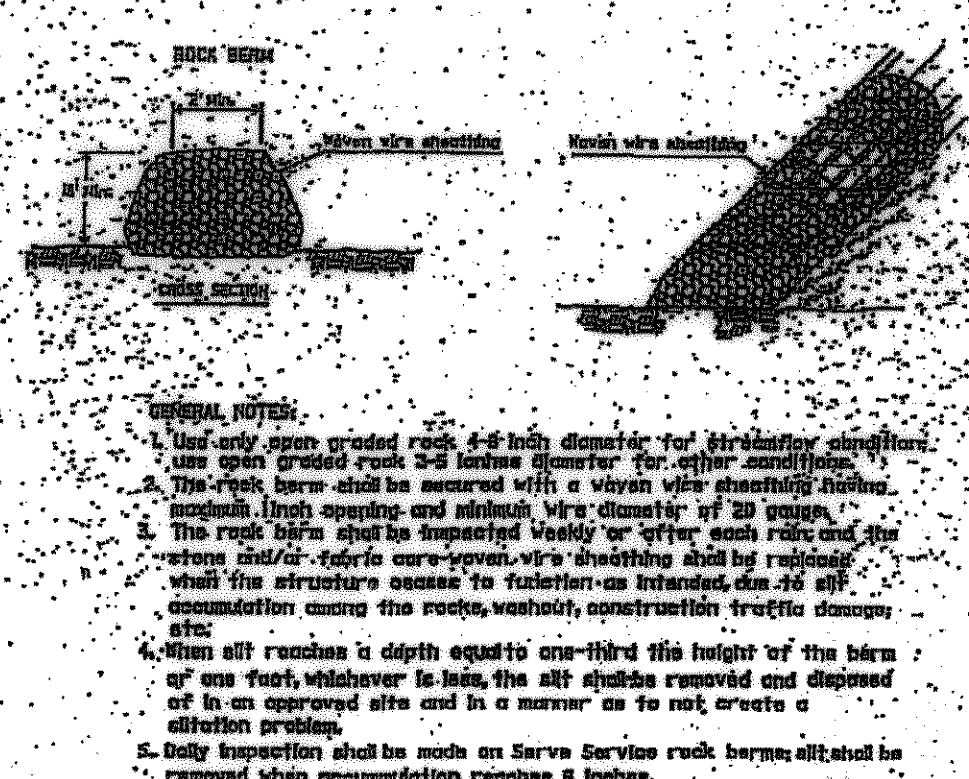


SECTION A-A

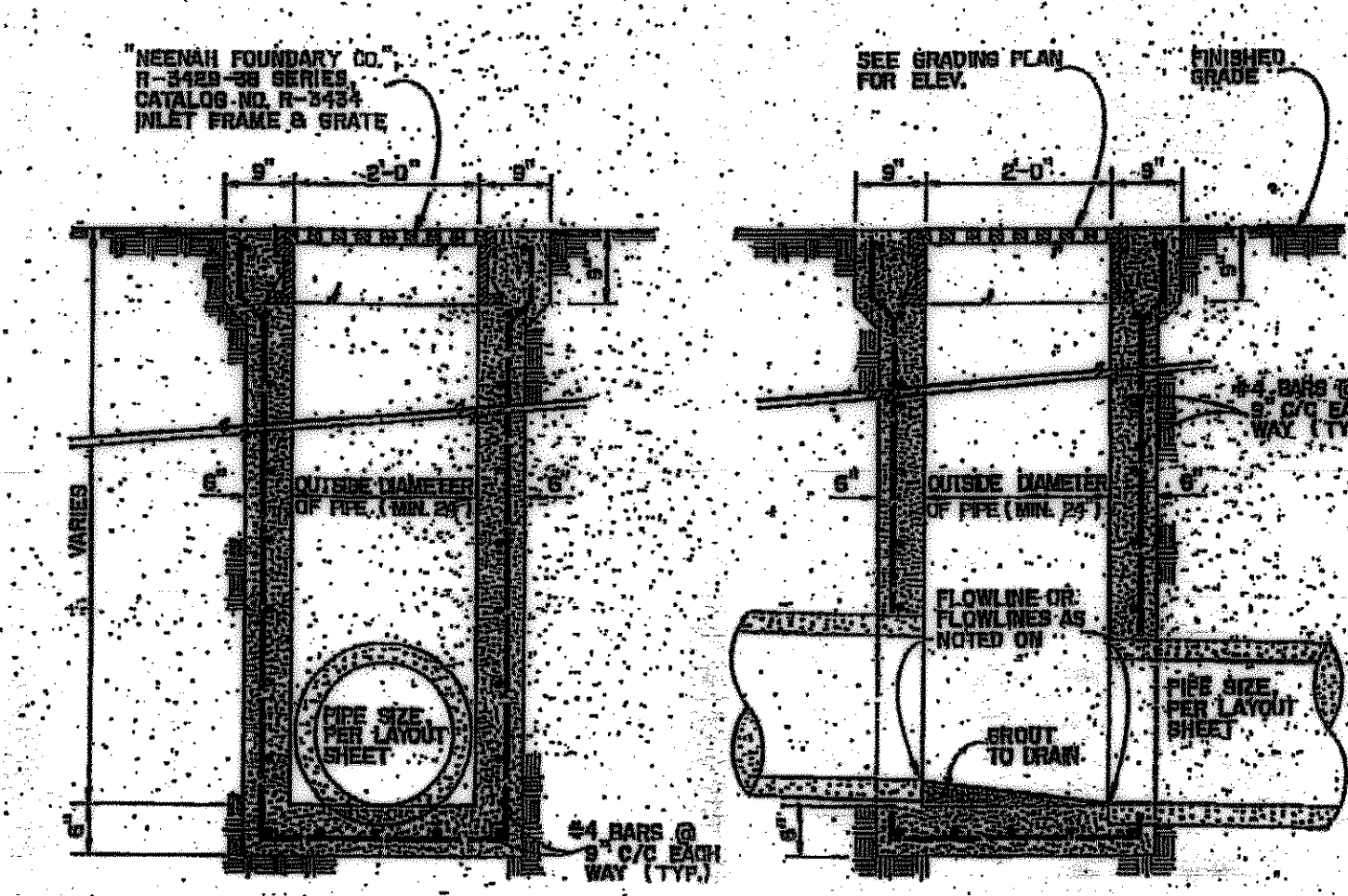


SECTION B-B

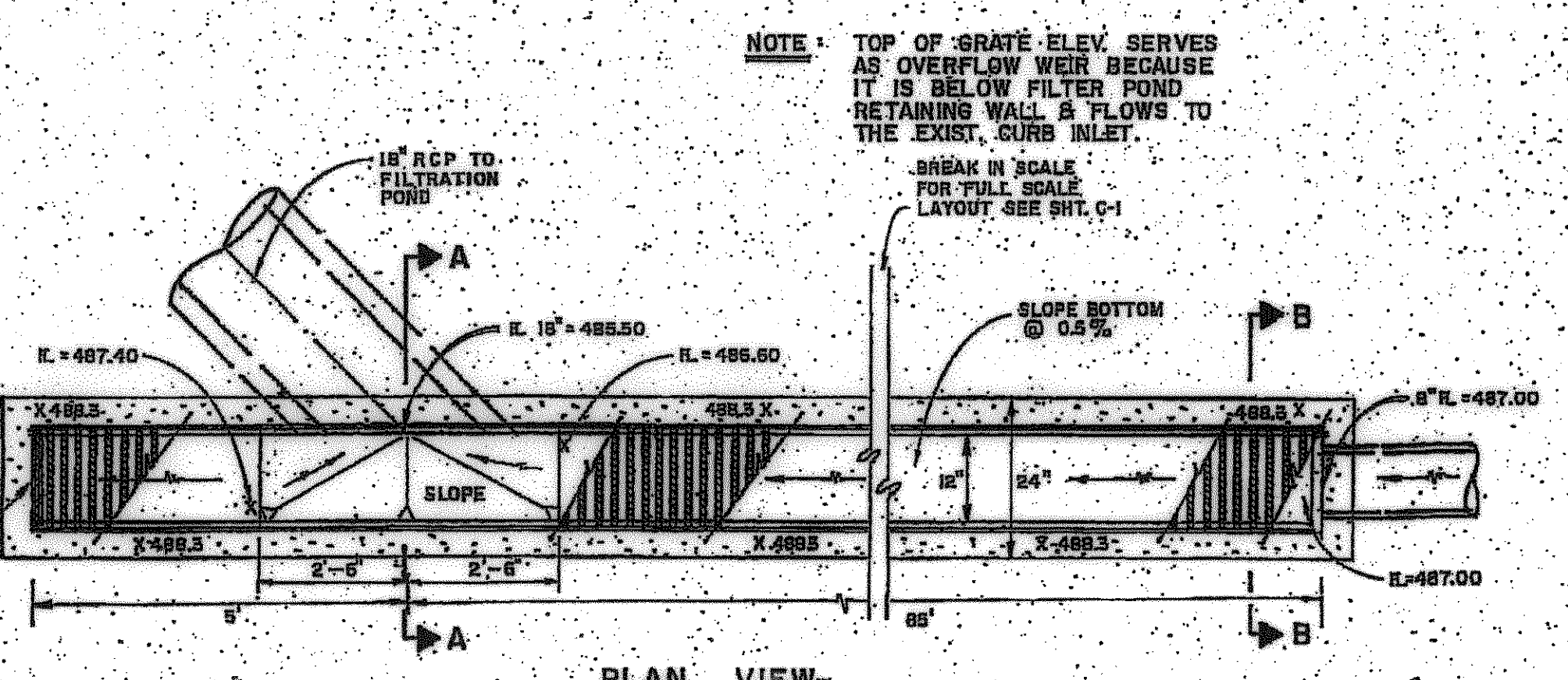
FILTRATION POND LAYOUT
SCALE: 1" = 5'



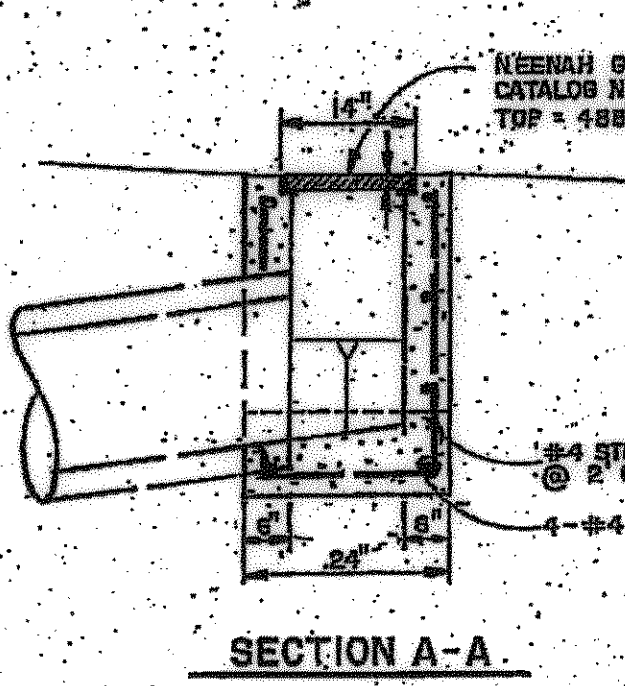
ROCK BERM
N.T.S.



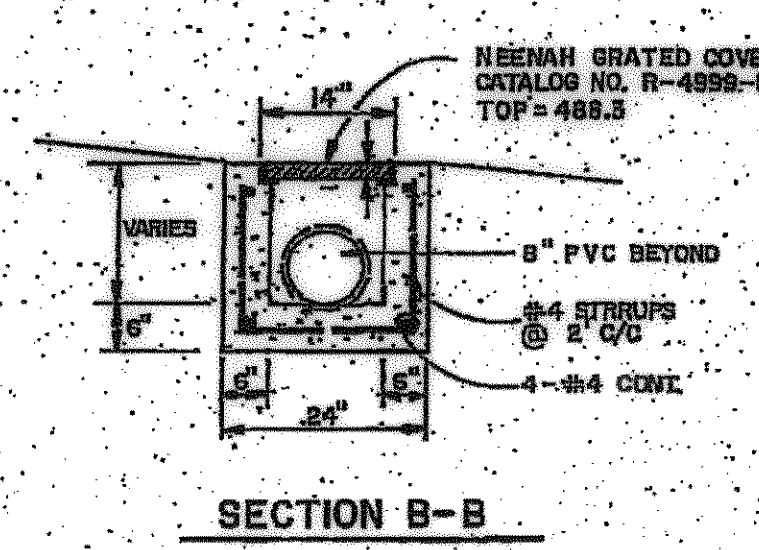
2' x 2' INSIDE GRATE INLET DETAIL
N.T.S.



PLAN VIEW



SECTION A-A



SECTION B-B

TRENCH DRAIN DETAIL
N.T.S.

DRAINAGE CALCULATIONS

DESIGN FLOW

1.21 ACRES x 43,560 sq. ft. / 33.8 ft./in. = 1,316 cu. ft.

SAND BED AREA = 2,200 / 10 = 220 sq. ft.

DESIGN FLOW

FILTRATION VOL. = 2,200 cu. ft.

DEPT.	SQ. FT.	CU. FT.	ACCUMULATED
486.0	230	0	0
486.1	300	25	25
486.2	500	55	80
486.0	900	424	504
486.0	900	1,800	2,304
486.2	500	100	2,404

SAND BED = 4' x 36' = 144 sq. ft.



Pury & Pittman, Inc.
Consulting Engineers - Surveyors
B.P.I. JOB NO. 407-0100

SITE PLAN RELEASE

FILE NUMBER: C814-82-006.01 EXPIRATION DATE: N/A

CASE MANAGER: L.W.R. APPLICATION DATE: N/A

REVIEWED FOR GENERAL COMPLIANCE ON: 7/24/00

APPROVED BY PLANNING COMMISSION ON: 7/24/00

APPROVED BY CITY COUNCIL ON: 7/13/00

Under Section 12-2-21 of Chapter 12-2 of the Austin City Code.

Signing for Director, Watershed Protection & Development Review Department

RELEASED FOR: GENERAL COMPLIANCE 12/31/1997 ZONING: PUD

Rev. 1 12-21-04 Correction 1

Rev. 2 12-21-04 Correction 2

Rev. 3 12-21-04 Correction 3

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA, INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THEIR SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY CITY ENGINEERS.

APPROVED
JUL 2 1999
PLANNING DEPT.

C14-82-006.01 (83)

All responsibility for the adequacy of these plans, drawings and the engineer/architect/landscape architect (as applies) who prepared them. In approving these plans, the City of Austin must rely upon the competency of the work of the engineer/architect/landscape architect.

Reviewed by *She Hats* 7/24/00

For Director of Department of Planning and Development Date

AUSTIN COMMONS P.U.D.

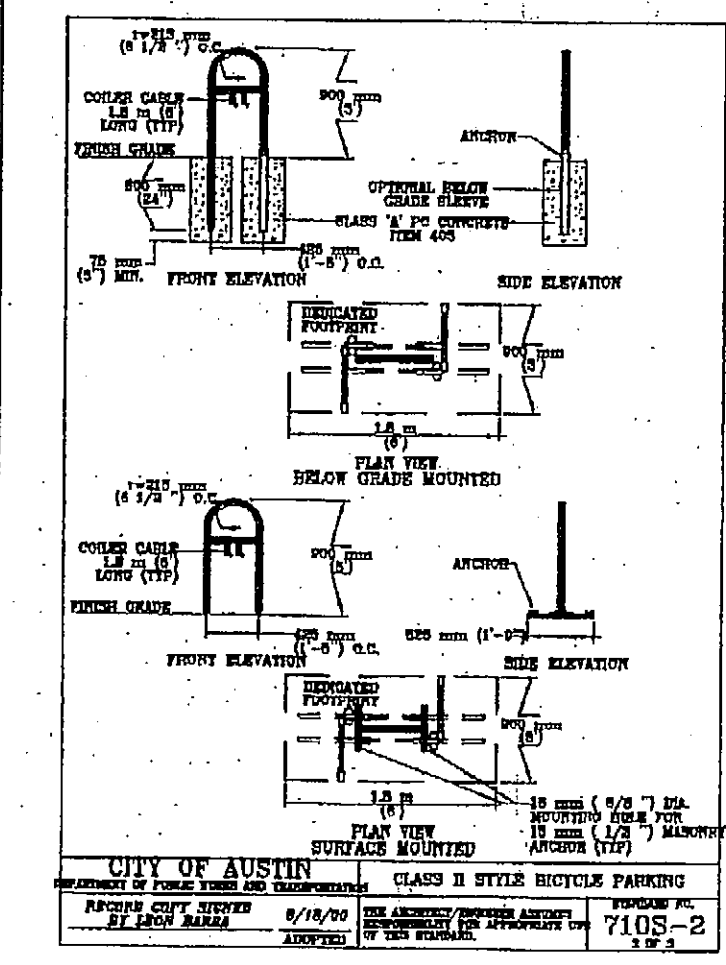
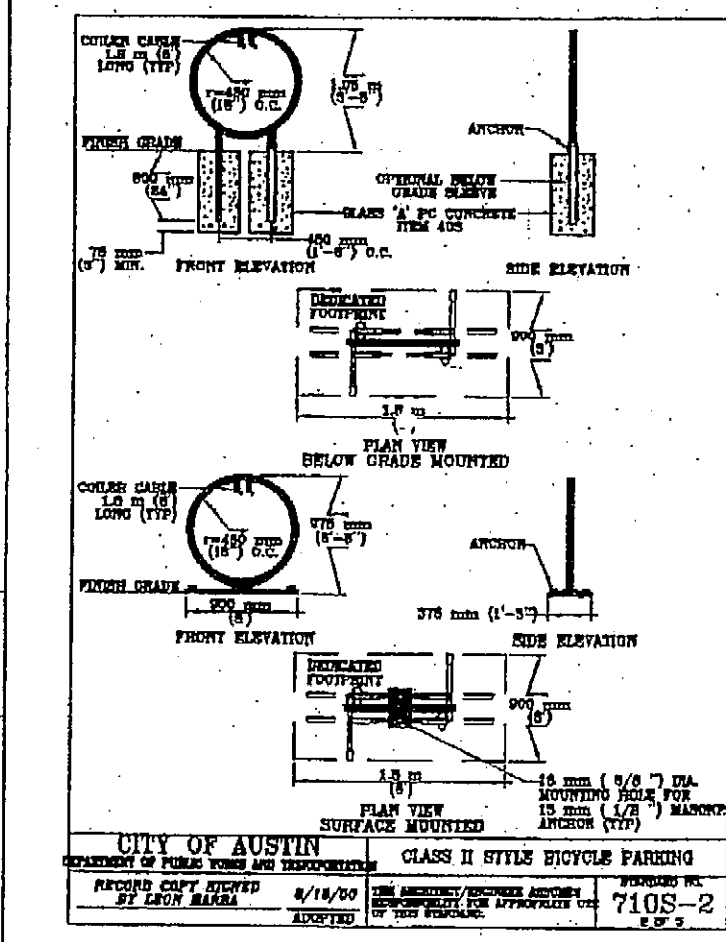
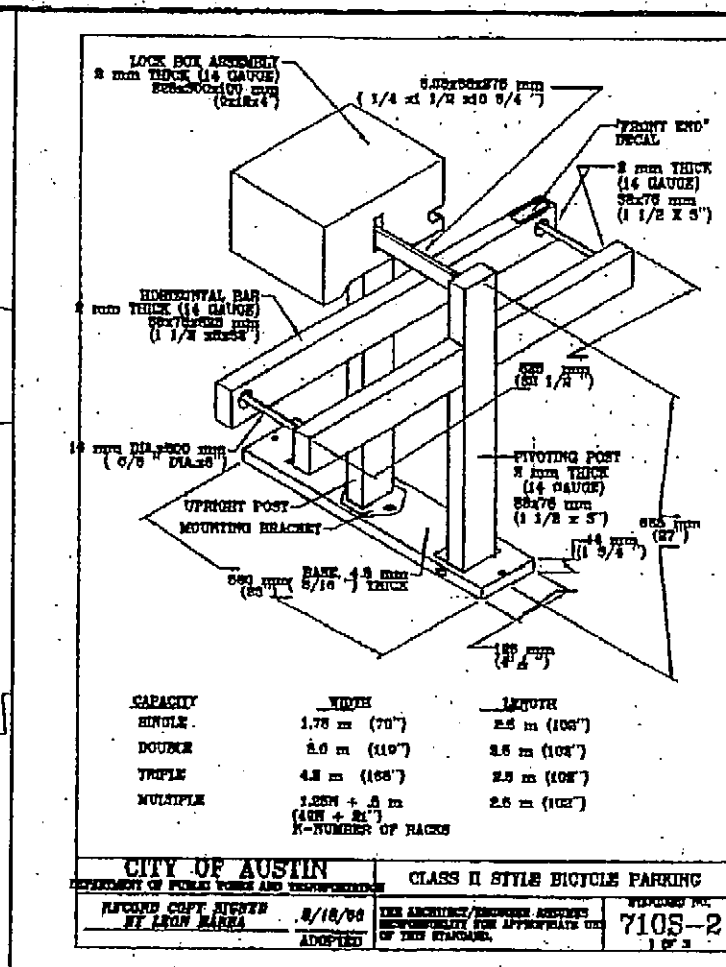
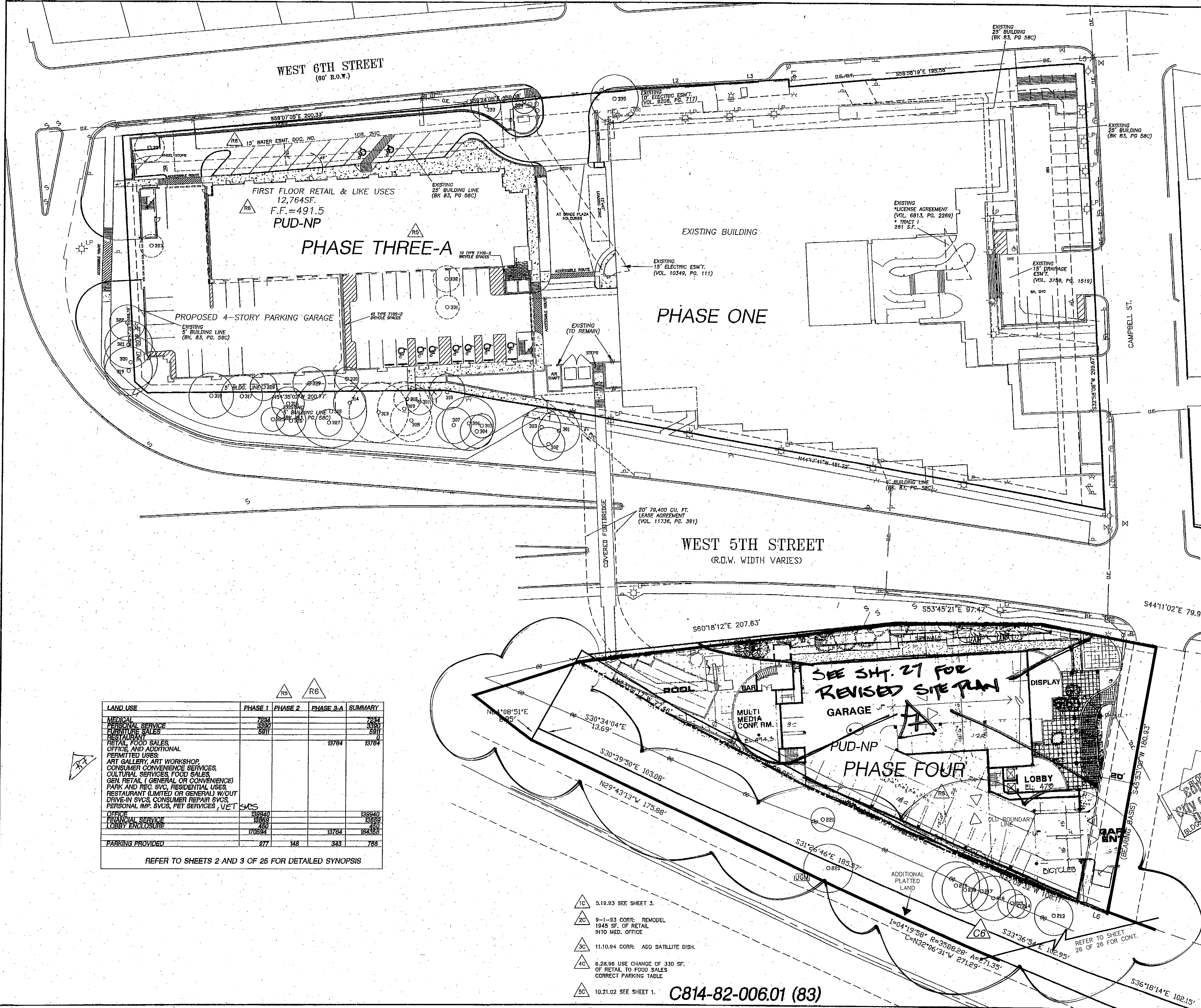
Lake Austin Financial Plaza
Interim Parking Phasing Revision
1717 West 6th Street
Austin, Texas 78703

Consultants:
Landscape Architect
Belanger & Smith Associates
Civil Engineer
Bury & Pittman, Inc.

PHASE TWO

GENERAL DETAILS

SHEET 11 OF 25
C814-82-006.01 (83)



LAND USE	PHASE 1	PHASE 2	PHASE 3-A	SUMMARY
MEDICAL SERVICE	7234			7234
PERSONAL SERVICE	3330			3330
FURNITURE SALES	5911			5911
RESTAURANT			13764	13764
RETAIL FOOD SALES, OFFICE AND ADDITIONAL PERMITTED USES			13764	13764
ART GALLERY, ART WORKSHOP, CONSUMER CONVENIENCE SERVICES, CULTURAL SERVICES, FOOD SALES, GEN. RETAIL (GENERAL OR CONVENIENCE) PARK AND REC. SVC., RESIDENTIAL USES, RESTAURANT (LIMITED OR GENERAL) W/OUT DRIVE-IN SVCS, CONSUMER REPAIR SVCS, PERSONAL, IMP. SVCS, PET SERVICES, VET SVCS	158440			158440
OFFICE	158440			158440
FINANCIAL SERVICE	460			460
LOBBY ENCLOSURE	170594		13764	184358
PARKING PROVIDED	277	148	343	768

REFER TO SHEETS 2 AND 3 OF 25 FOR DETAILED SYNOPSIS

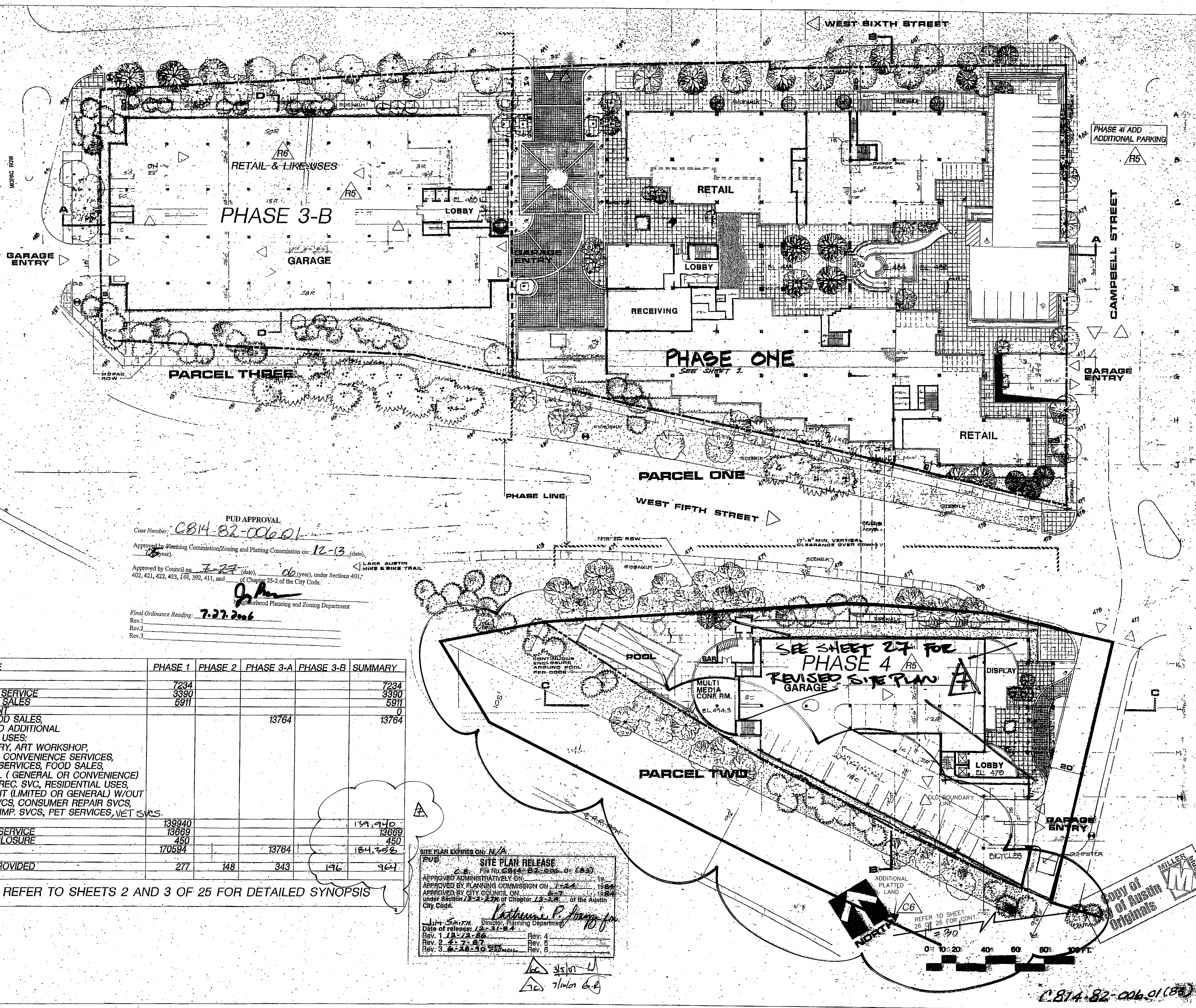
- 1C 5.19.93 SEE SHEET 3.
- 2C 9-1-83 CORR: REMODEL 1945 SF. OF RETAIL INTO MED. OFFICE
- 3C 11.10.84 CORR: ADD SATELLITE DISH.
- 4C 6.28.96 USE CHANGE OF 330 SF. OF RETAIL TO FOOD SALES CORRECT PARKING TABLE
- 5C 10.21.02 SEE SHEET 1.

C814-82-006.01 (83)

PUD APPROVAL
 Case Number: **C814-82-006.01**
 Approved by Planning Commission/Zoning and Platting Commission on: **12-13** (date), **2006** (year).
 Approved by Council on: **7-27** (date), **2006** (year), under Sections 401, 402, 421, 422, 423, 144, 392, 411, and ___ of Chapter 25-2 of the City Code.
 City of Austin, Neighborhood Planning and Zoning Department
 Final Ordinance Reading: **7-27-2006**
 PHASE 3-A Rev. 2
 SITE PLAN Rev. 3

SITE PLAN RELEASE
 FILE NUMBER: **C814-82-006.01** EXPIRATION DATE: **13 OF 27**
 CASE MANAGER: _____ APPLICATION DATE: _____
 APPROVED ADMINISTRATIVELY ON: _____
 APPROVED BY PLANNING COMMISSION ON: **01-24-04**
 APPROVED BY CITY COUNCIL ON: **06-07-04**
 under Ordinance **12-20** of Chapter **12-20** of the City Code.
 Signed For Deposit, Watershed Protection and Development Review Department
 DATE OF RELEASE: **DEC. 31 OF 04** Contingent: **PUD**
 Date: _____ Correction: **7/16/07**
 Date: _____ Correction: _____
 Date: _____ Correction: _____

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEER.
SHEET 13 OF 27
REPLACEMENT SHEET



PUD APPROVAL
 Case Number: C814-82-006.01
 Approved by Planning Commission/Zoning and Platting Commission on: 12-13 (date),
 (year).
 Approved by Council on: 7-27 (date), 06 (year), under Sections 401,
 402, 421, 422, 423, 424, 392, 411, and of Chapter 25-2 of the City Code.
 J. P. [Signature]
 Neighborhood Planning and Zoning Department
 Final Ordinance Reading: 7-27-2006
 Rev. 1 _____
 Rev. 2 _____
 Rev. 3 _____

LAND USE	PHASE 1	PHASE 2	PHASE 3-A	PHASE 3-B	SUMMARY
MEDICAL	7234				7234
PERSONAL SERVICE	3390				3390
FURNITURE SALES	5911				5911
RESTAURANT					0
RETAIL, FOOD SALES, OFFICE, AND ADDITIONAL PERMITTED USES: ART GALLERY, ART WORKSHOP, CONSUMER CONVENIENCE SERVICES, CULTURAL SERVICES, FOOD SALES, GEN. RETAIL (GENERAL OR CONVENIENCE) PARK AND REC. SVC., RESIDENTIAL USES, RESTAURANT (LIMITED OR GENERAL) W/O DRIVE-IN SVCS, CONSUMER REPAIR SVCS, PERSONAL IMP. SVCS, PET SERVICES, VET SVCS.			13764		13764
OFFICE	139940				139,940
FINANCIAL SERVICE	13669				13669
LOBBY ENCLOSURE	450				450
	170594		13764		184,358
PARKING PROVIDED	277	148	343	196	964

REFER TO SHEETS 2 AND 3 OF 25 FOR DETAILED SYNOPSIS

SITE PLAN EXPIRES ON: N/A
SITE PLAN RELEASE
 C-6, File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON: _____ 19____
 APPROVED BY PLANNING COMMISSION ON: 7-27, 1906
 APPROVED BY CITY COUNCIL ON: 6-7, 1904
 under Section 22-2.7 of Chapter 23-2 of the Austin
 City Code.
 [Signature]
 Director, Planning Department
 Date of release: 12-31-04
 Rev. 1 12-31-06 Rev. 4 _____
 Rev. 2 7-27-07 Rev. 5 _____
 Rev. 3 7-27-09 Rev. 6 _____

**AUSTIN
 COMMONS
 P.U.D.**

Lake Austin Financial Plaza
 Interim Parking Phasing Revision
 1717 West 6th Street
 Austin, Texas 78703

E.M. SYKES CO.
 Austin, Texas

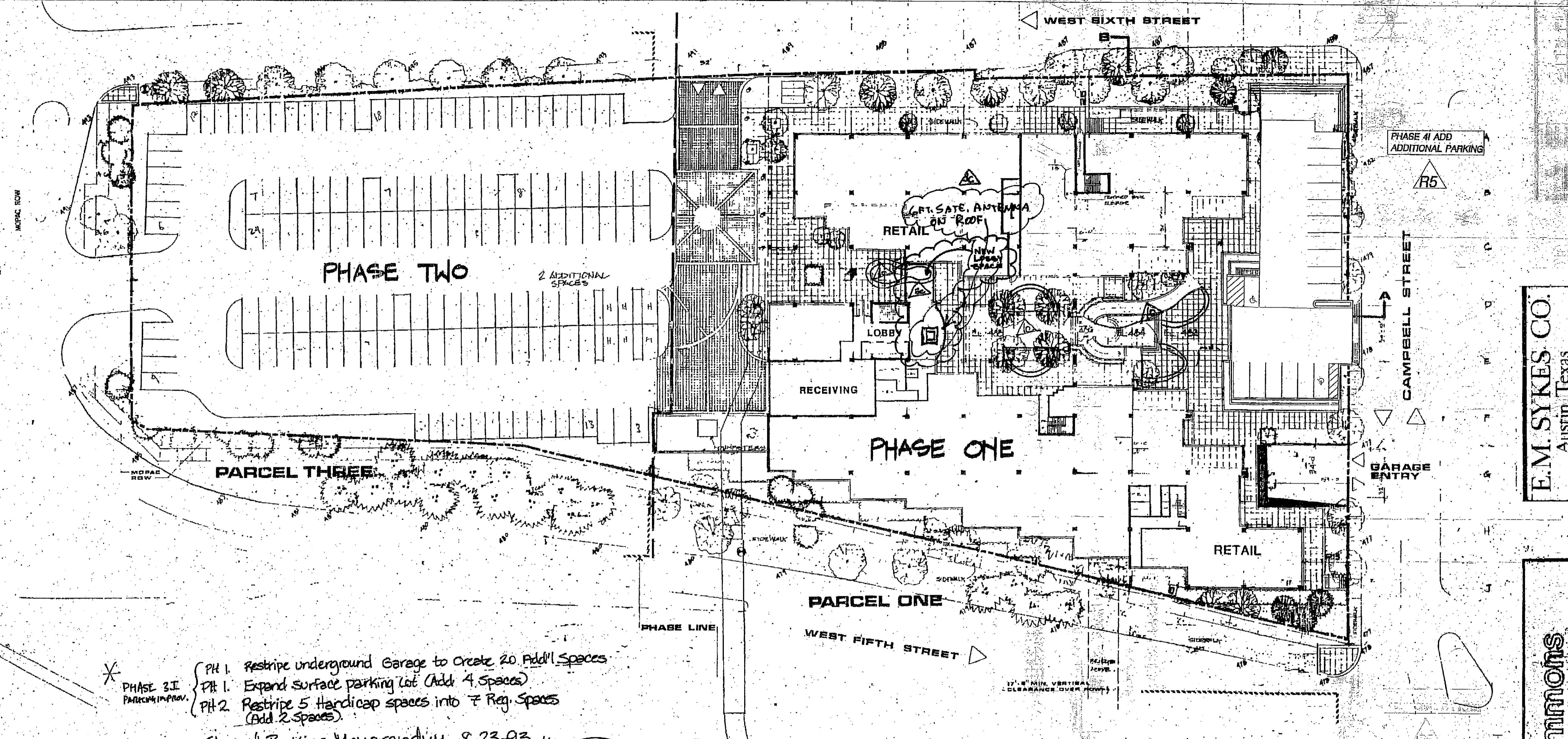
Austin Commons
 Lake Austin

SITE PLAN
 WITH SCHEMATIC LANDSCAPE

**PHASE 3-B
 SITE PLAN**

**SHEET
 14 OF 27**

**C814-82-006.01 (83)
 REPLACEMENT SHEET**



PHASE 3I
 PH 1. Restripe underground Garage to Create 20 Add'l Spaces
 PH 1. Expand surface parking Lot (Add 4 Spaces)
 PH 2. Restripe 5 Handicap spaces into 7 Reg. Spaces (Add 2 Spaces)
 ** As per Shared Parking Memorandum 8-23-93

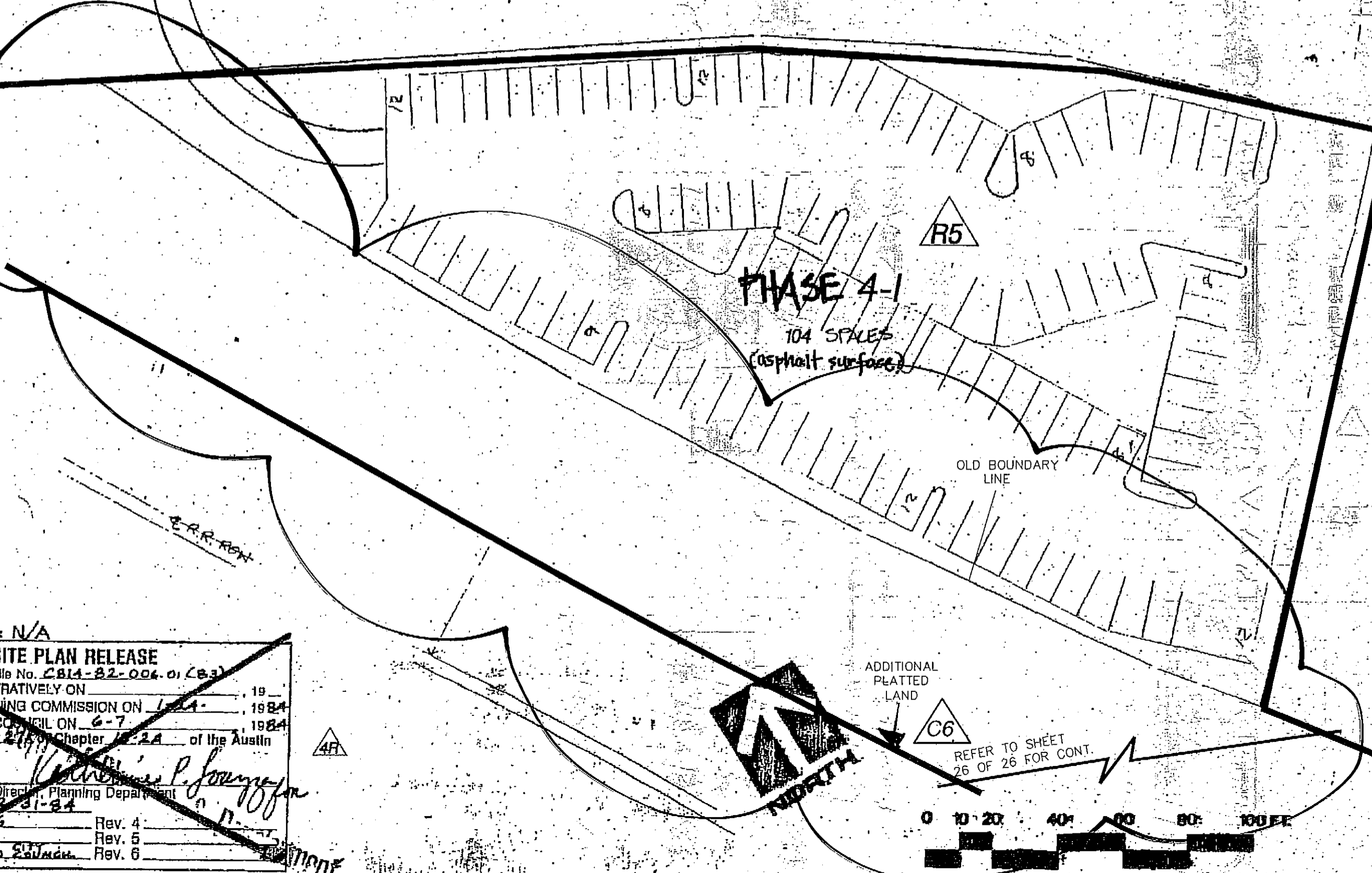
LAND USE	PHASE 1	PHASE 2	LOT 1 PHASE 4-I aka-3-1	LOT 2 PHASE 4-I aka-3-1	SUMMARY
MEDICAL	7234				7234
PERSONAL SERVICE	3390				3390
FURNITURE SALES	5911				5911
RESTAURANT					0
GENERAL RETAIL					0
OFFICE	139940				139940
FINANCIAL SERVICE	13669				13669
LOBBY ENCLOSURE	450				450
	170594				170594
PARKING PROVIDED	277	148	17	104	546

REFER TO SHEETS 2 AND 3 OF 25 FOR DETAILED SYNOPSIS

5.19.93 Corr. See SH 3 (95)
 9-1-93 CORR: RESTRIPED 1945' OF RESTRIPE SPACES INTO MOP.
 OFFICE
 11-10-99 CORR: ADD SATELLITE DISH (KH)
 ENCLOSE 450 SF FOR LOBBY BENEATH EXIST. BUILDING LANE
 3/10/01
 cc 3/10/01

SITE PLAN RELEASE
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 12-1-93
 APPROVED BY PLANNING COMMISSION ON 1-24-94
 APPROVED BY CITY COUNCIL ON 4-16-94
 under Section 13-2-2.1 of Chapter 13-2.0 of the Austin City Code.
 Katherine P. George for
 Director, Planning Department
 Date of release: Dec. 31, 1993
 Rev. 1 - Dec. 12, 1993
 Rev. 2 - April 7, 1994
 Rev. 3 - June 28, 1994 (C814-82-006.01)

~~**SITE PLAN RELEASE**
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 1-19-94
 APPROVED BY PLANNING COMMISSION ON 1-24-94
 APPROVED BY CITY COUNCIL ON 6-7-94
 under Section 13-2-2.1 of Chapter 13-2.0 of the Austin City Code.
 Jim Smith Director, Planning Department
 Date of release: 1-31-94
 Rev. 1 - 1-21-94
 Rev. 2 - 1-21-94
 Rev. 3 - 2-28-94
 Rev. 4 -
 Rev. 5 -
 Rev. 6 -~~



PROJECT SHEET
AUSTIN COMMONS
 P.U.D. 2-0000 (83)

Lake Austin Financial Plaza
 Interim Parking Phasing Revision
 1717 West 6th Street
 Austin, Texas 78703

E.M. SYKES CO.
 Austin, Texas

Austin Commons

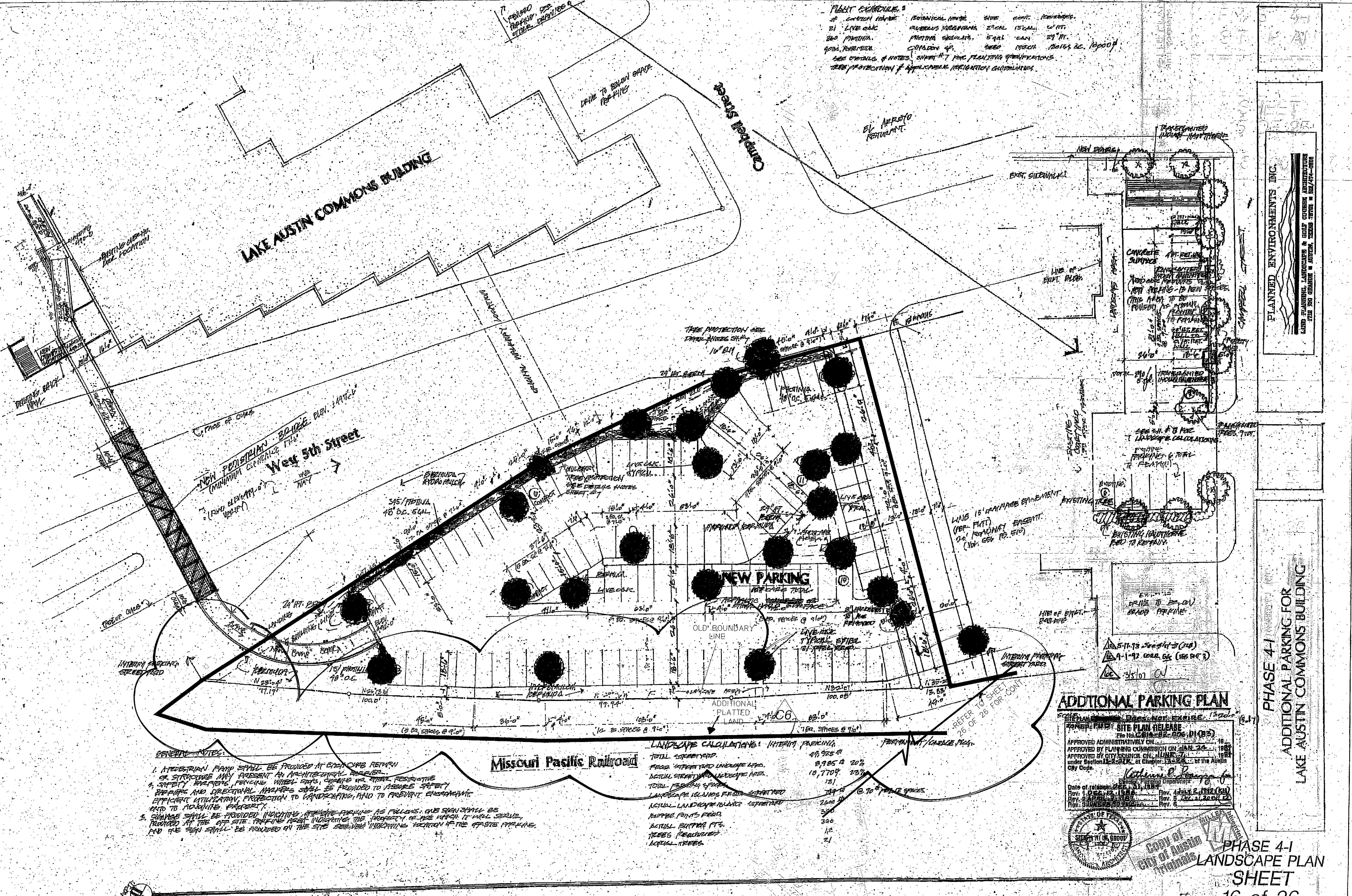
SITE PLAN
 WITH SCULPTURE LANDSCAPE

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
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23		
24		
25		

PROJ. REV. DATED: JULY 28, 1990
 DATE ISSUED: JULY 28, 1990
 DRAWN BY: BE
 CHECKED BY: BE

SHEET TITLE
PHASE 4-I SITE PLAN
 Copy of City of Austin originals
SHEET 15 of 26
REPLACEMENT SHEET C814-82-006.01 (83)



PLANT EXHAUSTIVE:
 # COMMON NAME BOTANICAL NAME SIZE CONT. COMMENTS
 21 LIVE OAK QUERCUS VIRGINIANA 2" CAL 15' CAL 6" FT.
 260 PINEAPPLE FLORIDA SCYLLARIA 5" CAL 21" FT.
 4000 PINEAPPLE CANNADON 4" 2000 MARCH 2016 DC 1000 FT.
 SEE DETAILS & NOTES SHEET #1 FOR PLANTING SPECIFICATIONS.
 TREE PROTECTION & APPLICABLE IRRIGATION GUIDELINES.

GENERAL NOTES:

1. PEDESTRIAN RAMP SHALL BE PROVIDED AT EACH CURB RETURN OR STRUCTURE MAY PRESENT AN ARCHITECTURAL BARRIER.
2. SAFETY SIGNS, FENCING, WIRELESS SIGNS, CURBS OR OTHER RESTRICTIVE BARRIERS AND DIRECTIONAL MARKERS SHALL BE PROVIDED TO ASSURE SAFETY EFFICIENT UTILIZATION, PROTECTION TO LANDSCAPING, AND TO PREVENT ENCROACHMENT AND TO MAINTAIN ORDERLY.
3. SIGNS SHALL BE PROVIDED INDICATING THE PARKING AS FOLLOWS: ONE SIGN SHALL BE PROVIDED AT THE OFF SITE, PARKING AREA INDICATING THE PROPERTY ON WHICH IT WILL SERVE, AND ONE SIGN SHALL BE PROVIDED ON THE SITE INDICATING THE LOCATION OF THE OFF SITE PARKING.

LANDSCAPE CALCULATIONS: INTERIM PARKING

TOTAL SQUARE YARD	49,525 sq ft
PERCENT STREET AND LANDSCAPE AREA	8,985 sq ft 20%
ACTUAL STREET AND LANDSCAPE AREA	10,770 sq ft 23%
TOTAL PARKING SPACES	181
LANDSCAPE ISLANDS PER SPACING	149 ft @ 10' PER 12 SPACES
ACTUAL LANDSCAPE ISLANDS	2,000 ft
NUMBER POINTS FROM	300
ACTUAL NUMBER FT.	300
TREES PLANTED	12
ACTUAL TREES	21

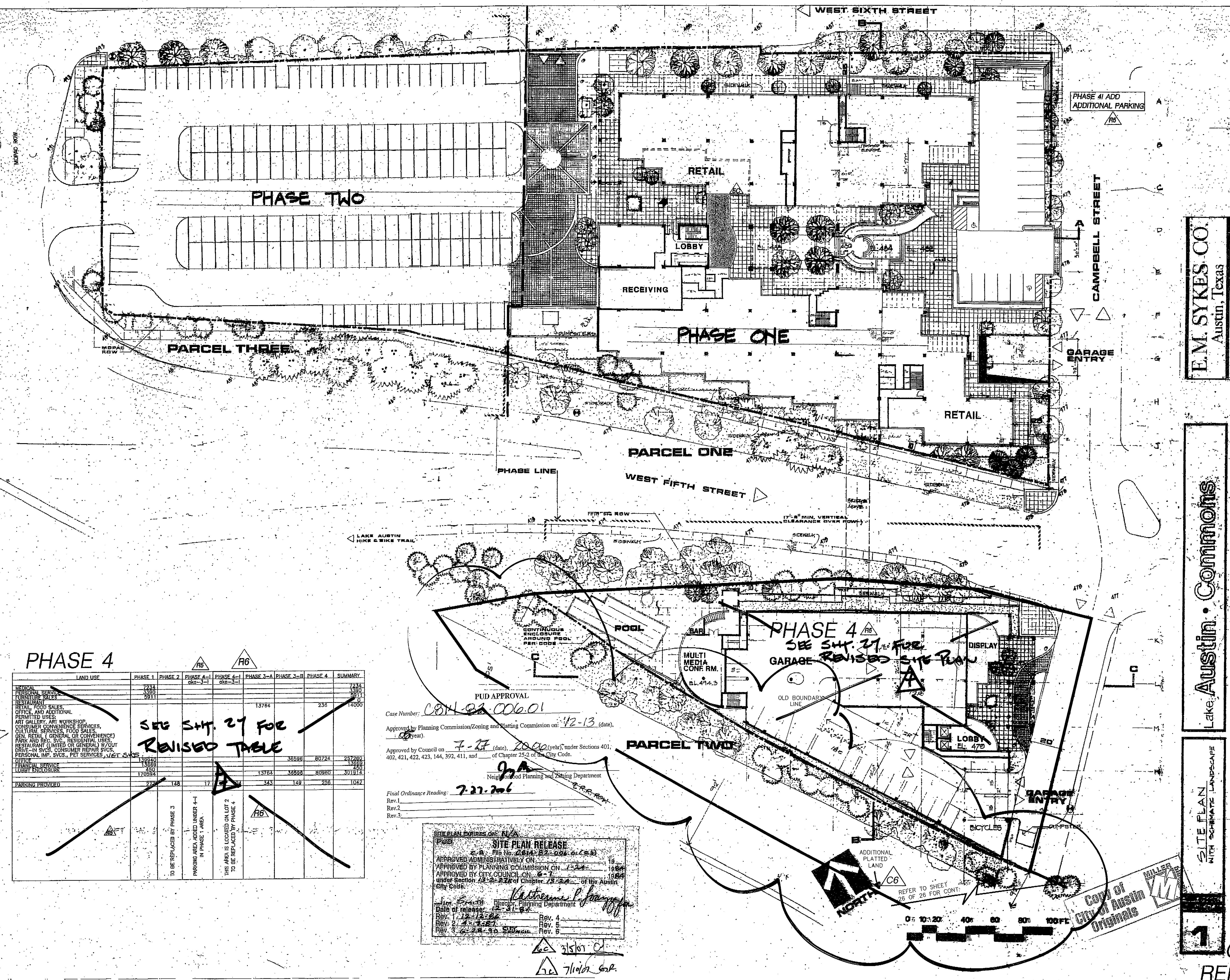
ADDITIONAL PARKING PLAN
 THIS PLAN DOES NOT EXCEED 1300' (S-1)
 2016 CITY OF AUSTIN SITE PLAN RELEASE
 THE NO. 814-82-006-01 (83)
 APPROVED ADMINISTRATIVELY ON JAN 24, 2016
 APPROVED BY PLANNING COMMISSION ON JAN 24, 2016
 APPROVED BY CITY COUNCIL ON JUNE 27, 2016
 UNDER SECTION 152.002, CHAPTER 152, TITLE 15, LOCAL GOVERNMENTS OF THE ANTIQUITY CITY CODE
 Katherine E. Johnson
 Director, Planning Department
 Date of release: 06/23/2016
 Rev. 1: 02/25/2016 Rev. 2: 07/27/2016
 Rev. 3: 08/11/2016 Rev. 4: 08/11/2016
 Rev. 5: 08/11/2016 Rev. 6: 08/11/2016



COPY OF
 City of Austin
 Records

PHASE 4-1
 ADDITIONAL PARKING FOR
 LAKE AUSTIN COMMONS BUILDING

PLANNED ENVIRONMENTS INC.
 LANDSCAPE ARCHITECTURE
 2000 W. BRUNNEN ST. SUITE 200
 AUSTIN, TEXAS 78703
 TEL: 512.477.4400



PHASE 4

SEE SH. 27 FOR REVISED TABLE

LAND USE	PHASE 1	PHASE 2	PHASE 3-A	PHASE 3-B	PHASE 4	SUMMARY
PERSONAL SERVICE	7234					7234
FURNITURE SALES	3380					3380
RESTAURANT	5911					5911
RETAIL - FOOD SALES			15784		235	14000
OFFICE AND ADDITIONAL PERMITTED USES						
ART GALLERY, ART WORKSHOP, CONSUMER CONVENIENCE SERVICES, CULTURAL SERVICES, FOOD SALES						
GEN. RETAIL (GENERAL OR CONVENIENCE)						
PARK AND REC. SVCS., RESIDENTIAL USES						
RESTAURANT (LIMITED OR GENERAL) W/OUT DRIVE-IN SVCS., CONSUMER REPAIR SVCS., PERSONAL IMP. SVCS., PET SERVICES, VET SVCS.						
OFFICE	139940				35599	80284
FINANCIAL SERVICE	13669					13669
LOBBY ENCLOSURE	450					450
	170584				15784	35599
PARKING PROVIDED	277	148	17	343	149	235
						1042

TO BE REPLACED BY PHASE 3

PARKING AREA ADDED UNDER PHASE 1 IN PHASE 1 AREA.

THIS AREA IS LOCATED ON LOT 2 TO BE REPLACED BY PHASE 4

PUD APPROVAL

Case Number: C814-82-006.01

Approved by Planning Commission/Zoning and Platting Commission on: 12-13 (date), 09 (year).

Approved by Council on: 7-27 (date), 2009 (year), under Sections 401, 402, 421, 422, 423, 144, 392, 411, and 6 of Chapter 25-2 of the City Code.

J.P.A.
Neighborhood Planning and Zoning Department

Final Ordinance Reading: 7-27-2006

Rev. 1 _____
Rev. 2 _____
Rev. 3 _____

SITE PLAN RELEASE

APPROVED ADMINISTRATIVELY ON: 2-8-2006 (date) 09 (year)

APPROVED BY PLANNING COMMISSION ON: 12-13 (date) 09 (year)

APPROVED BY CITY COUNCIL ON: 7-27 (date) 2009 (year)

under Section 13-2-2.2 of Chapter 25-2 of the Austin City Code.

Katherine L. Jennings
Director, Planning Department

Date of Release: 12-13-09

Rev. 1 _____ Rev. 4 _____
Rev. 2 _____ Rev. 5 _____
Rev. 3 _____ Rev. 6 _____

AUSTIN COMMONS P.U.D.

Lake Austin Financial Plaza
Interim Parking Phasing Revision
1717 West 6th Street
Austin, Texas 78703

E.M. SYKES CO.
Austin, Texas

Austin Commons
Lake Austin

SITE PLAN
WITH SCHEMATIC LANDSCAPE

CONSULTANTS

REVISIONS

PROJECT NUMBER _____
DATE ISSUED: JUNE 28, 1990
DRAWN BY: BE
CHECKED BY: BE

PHASE 4 SITE PLAN

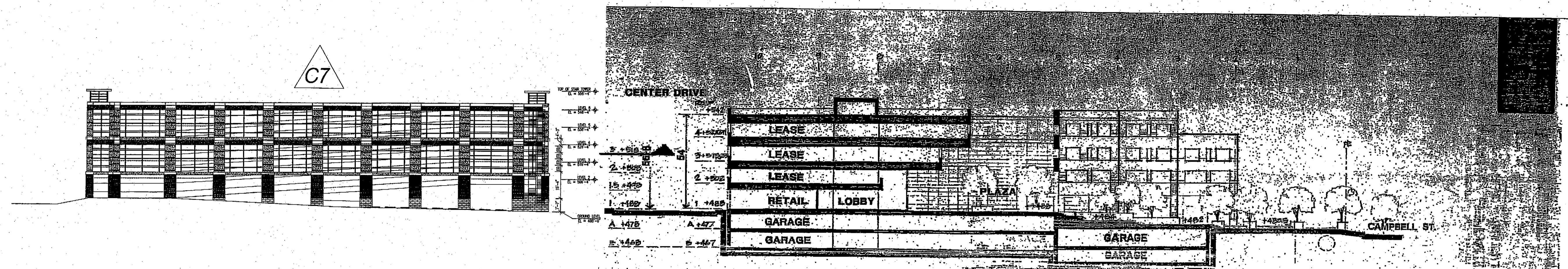
SHEET NUMBER

SHEET 17 of 27

C814-82-006.01 (83) REPLACEMENT SHEET

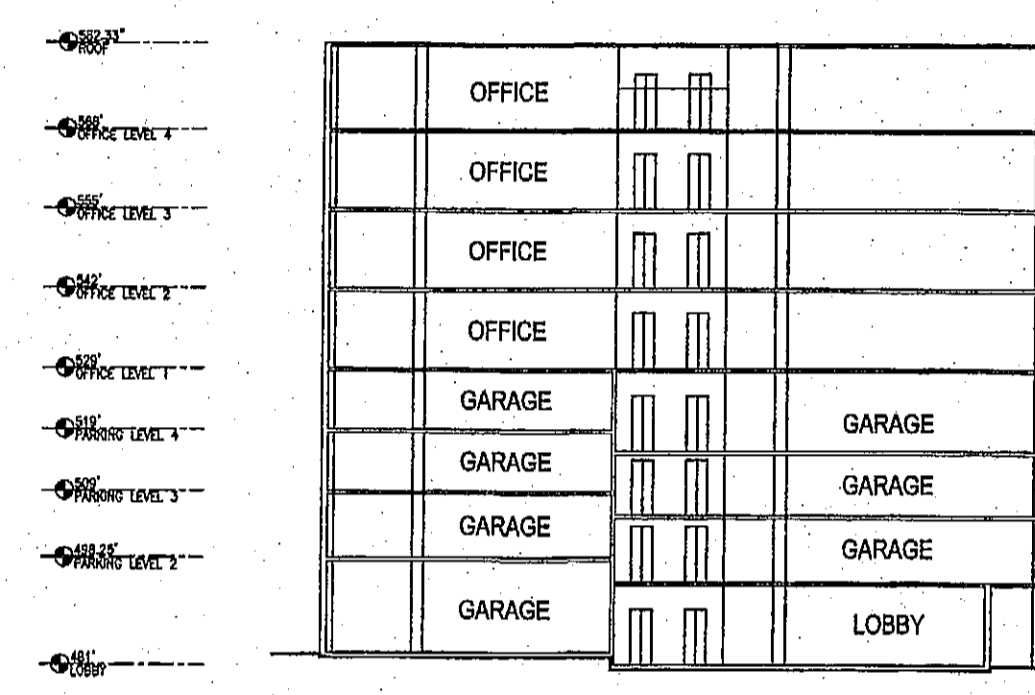
REFER TO SHEET 26 OF 26 FOR CONT.

COPIES OF City of Austin Originals



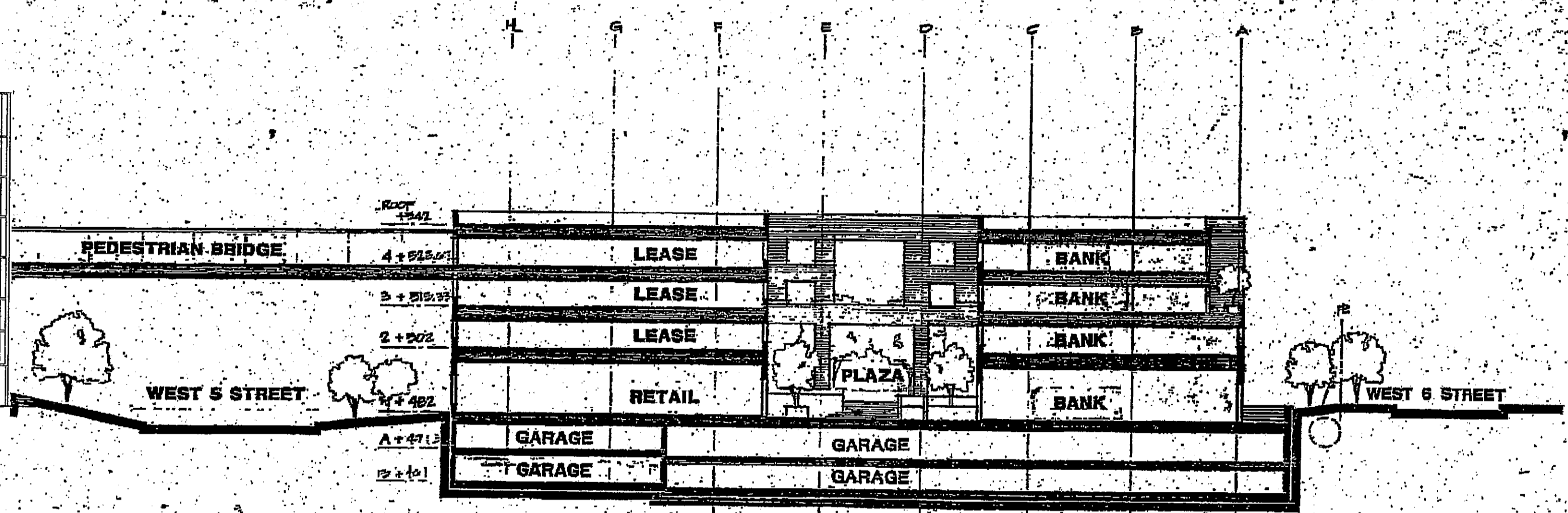
PHASE 3-B

C7



PHASE 1 SECTION A-A

R5

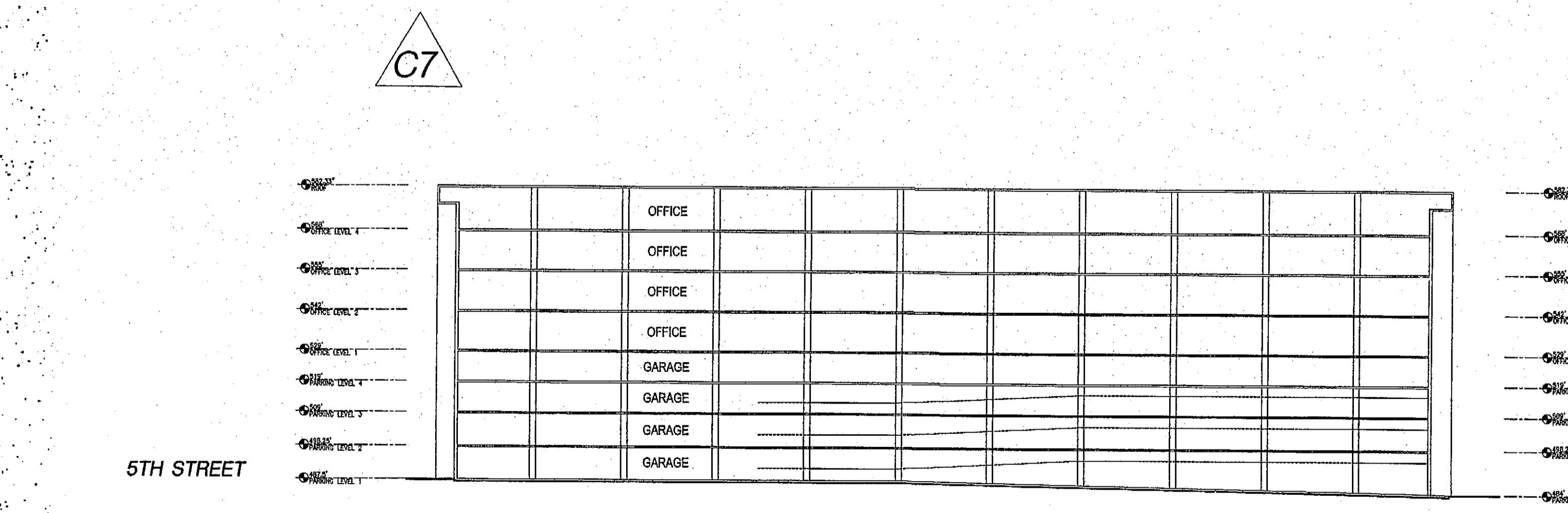


PHASE 4

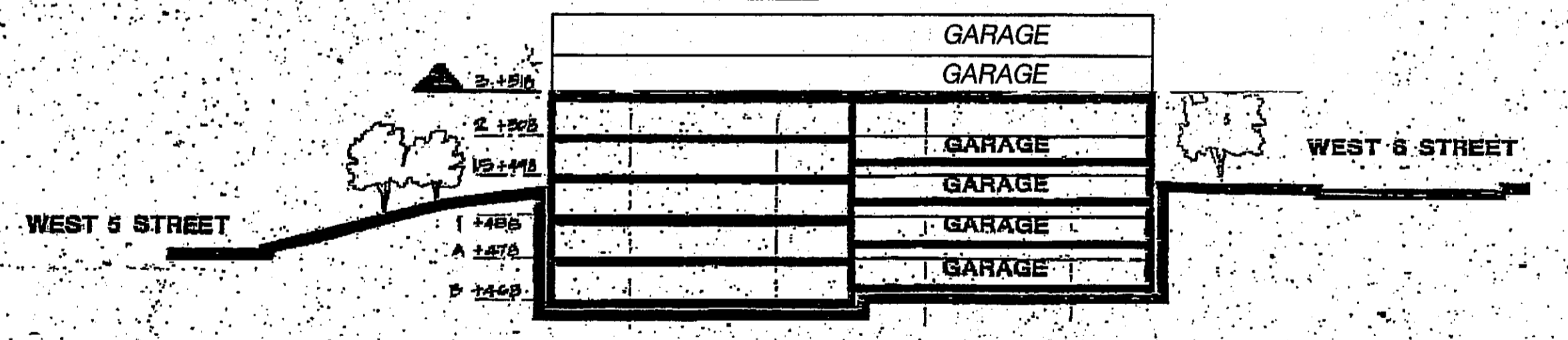
R5

PHASE 1 SECTION B-B

R5



C7



PHASE 3-B SECTION D-D

R5

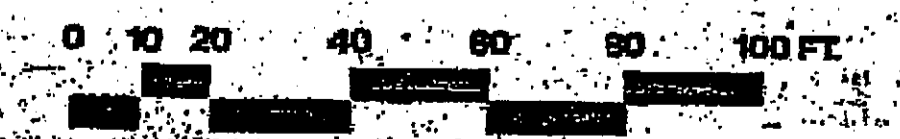
SITE PLAN DOES NOT EXPIRE
 Zoned: PUD **SITE PLAN RELEASE**
 File No. **C814-82-006.01 (83)**
 APPROVED ADMINISTRATIVELY ON **Jan 24**, 19**84**
 APPROVED BY PLANNING COMMISSION ON **June 7**, 19**84**
 APPROVED BY CITY COUNCIL ON **June 7**, 19**84**
 under Section 15-2-2.1K of Chapter 15-2 of the Austin City Code.
 Katherine P. George for
 Director, Planning Department
 Date of release: **Dec 31, 1984**
 Rev. 1: **06/17/1984** Rev. 4: **July 1984 (10)cc**
 Rev. 2: **07/11/1984** Rev. 5: **07/11/1984**
 Rev. 3: **08/08/1984** Rev. 6: **08/08/1984**

PHASE 4 SECTION C-C

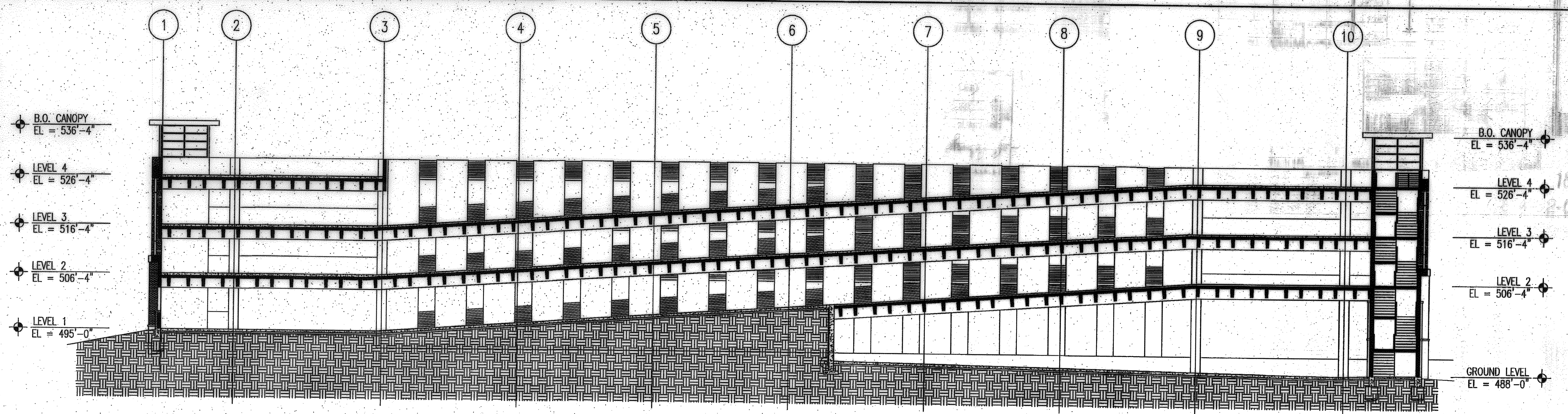
R5

REPLACEMENT SHEET

SITE PLAN RELEASE
 THE CITY OF AUSTIN
 APPROVED ADMINISTRATIVELY ON **June 7, 1984**
 APPROVED BY PLANNING COMMISSION ON **June 7, 1984**
 APPROVED BY CITY COUNCIL ON **June 7, 1984**
 under Section 15-2-2.1K of Chapter 15-2 of the Austin City Code.
 Date of release: **June 7, 1984**
 Rev. 1: **06/07/1984**
 Rev. 2: **06/07/1984**
 Rev. 3: **06/07/1984**

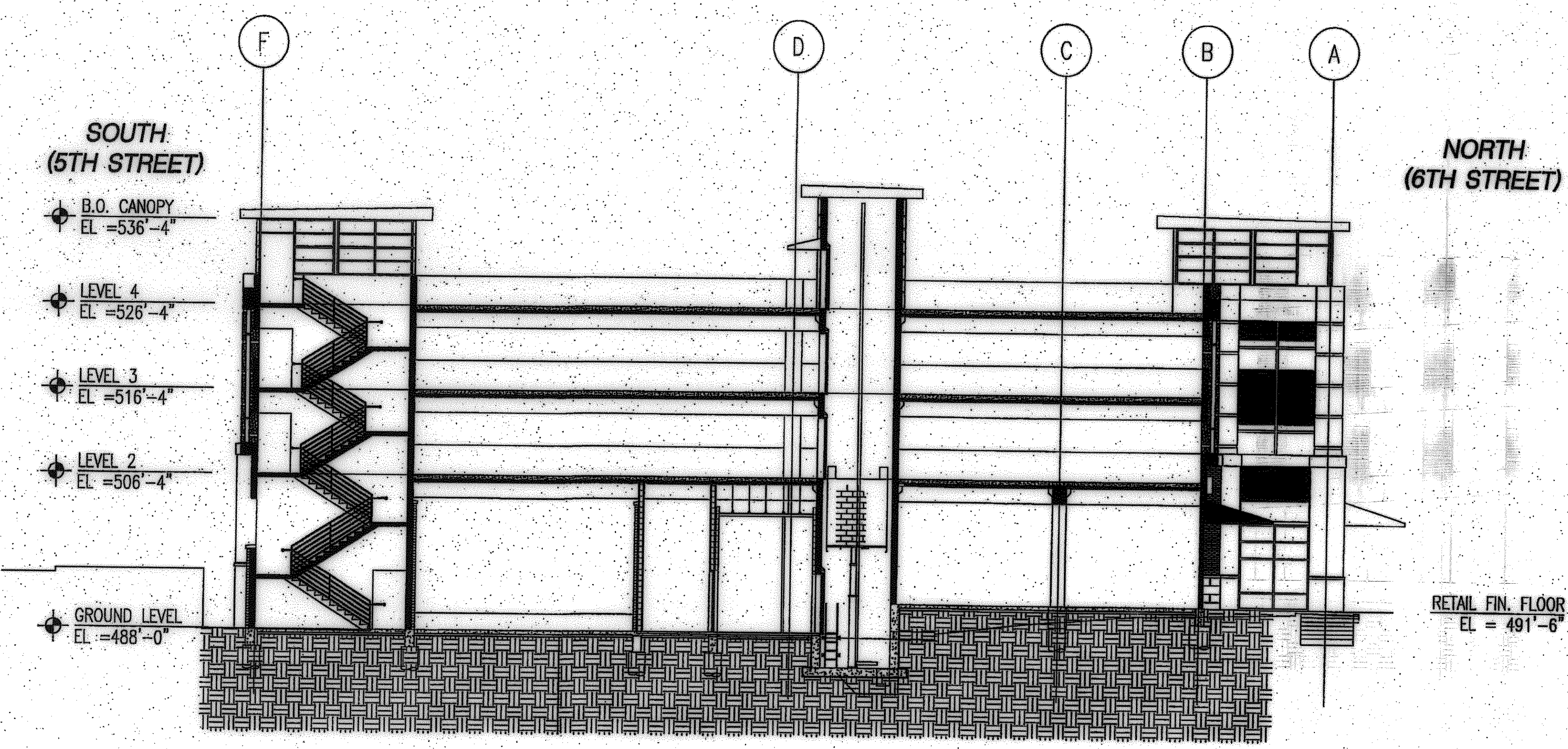


THE M. SYKES CO.
 ARCHITECTS
 AUSTIN, TEXAS
Austin Commons
BUILDING SECTIONS (ULTIMATE)



PHASE 3-A
EAST-WEST SECTION

R5



PHASE 3-A
NORTH-SOUTH SECTION

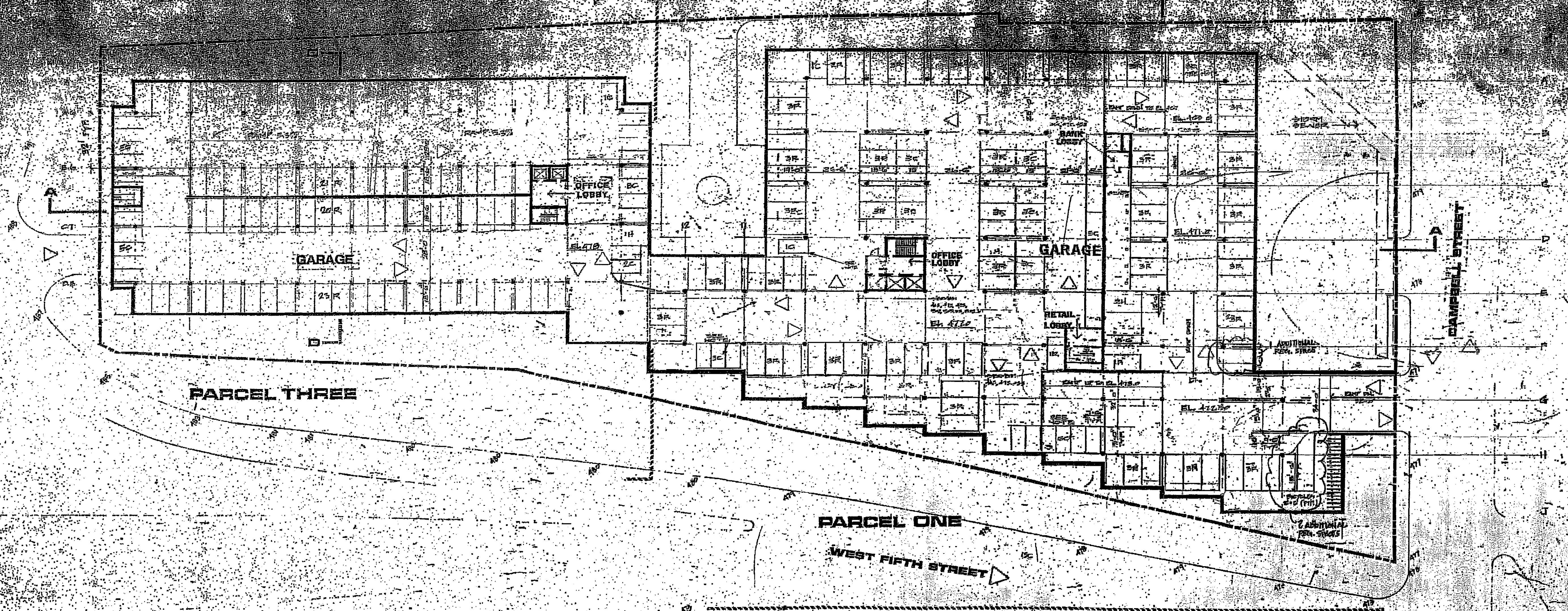
R5

SCALE: 1"=10'

SITE PLAN RELEASE		Sheet 19 of 25
FILE NUMBER: C814-82-006.01	EXPIRATION DATE: N/A	
CASE MANAGER: E. HANSEN	APPLICATION DATE: N/A	
APPROVED ADMINISTRATIVELY ON: N/A		
APPROVED BY PLANNING COMMISSION ON: JUNE 24, 1984		
APPROVED BY CITY COUNCIL ON: JUNE 7, 1984		
Under Section 2.2-2.3 of Chapter 2-2 of the City Code.		
K.H. H.S.		
Siting for District Watershed Protection and Development Review Department		
DATE OF RELEASE: 12-31	OF 84 ZONING: PUD	
Rev 1: 12-31-84 (R)	Correction 1:	
Rev 2:	Correction 2:	
Rev 3:	Correction 3:	

C814-82-006.01(83)

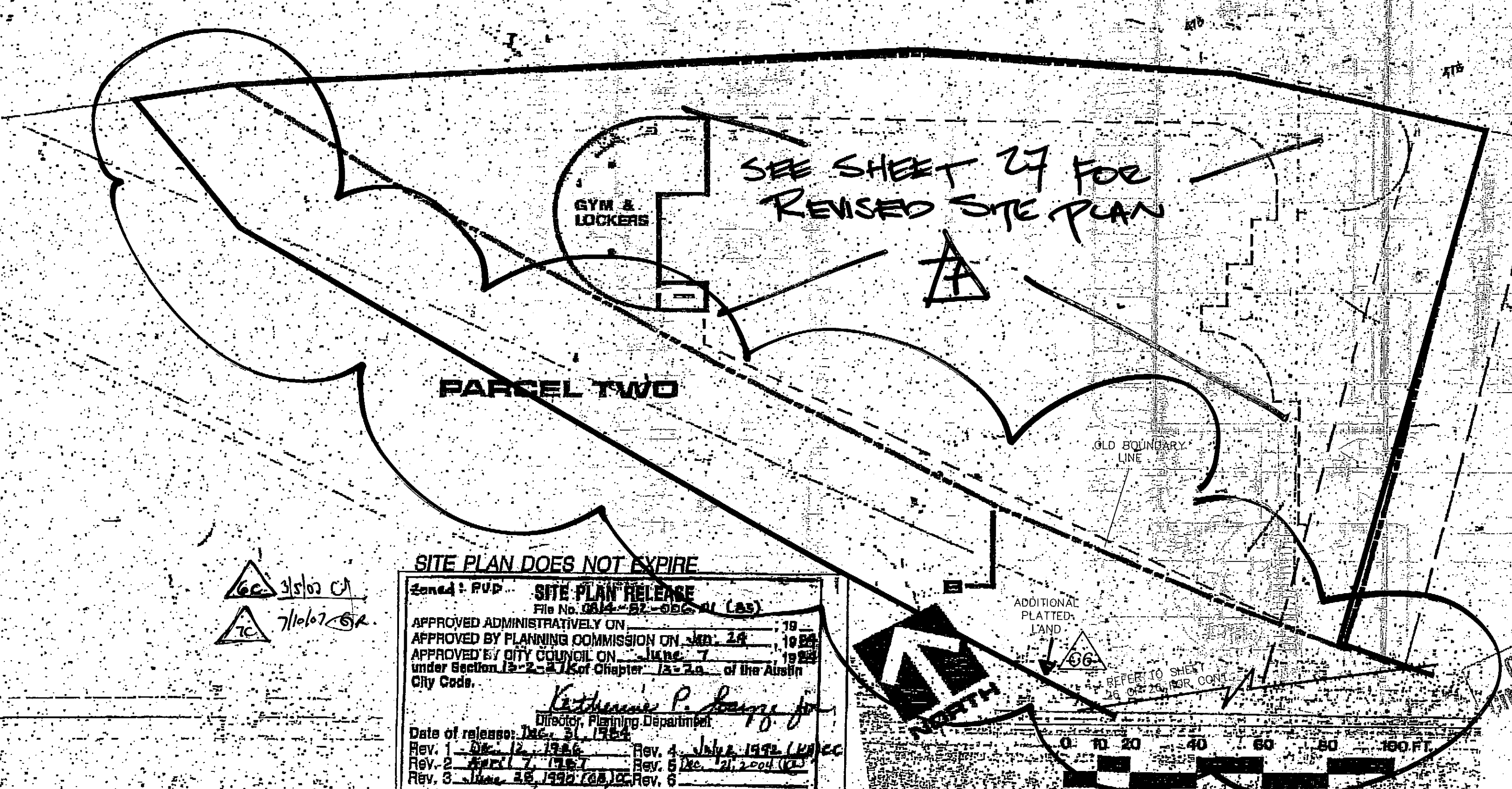
RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF ALL INFORMATION SUBMITTED. WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.



E.M. SYKES CO
Austin, Texas

Lake Austin Commons

GARAGE, LEVEL A
(LEVEL B SIMILAR)



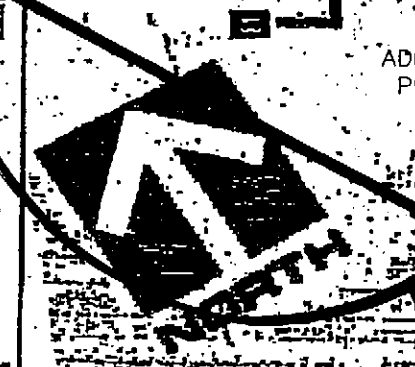
SITE PLAN DOES NOT EXPIRE

Zoned: RVP **SITE PLAN RELEASE**
File No. 2014-22-006.01 (83)

APPROVED ADMINISTRATIVELY ON June 28, 1984
APPROVED BY PLANNING COMMISSION ON June 7, 1984
APPROVED BY CITY COUNCIL ON June 7, 1984
under Section 19-2-2.1 of Chapter 19-2 of the Austin City Code.

Katherine P. Lopez
Director, Planning Department

Date of release: Dec. 31, 1984
Rev. 1 June 12, 1986 Rev. 4 July 1992 (UP) CC
Rev. 2 July 1986 Rev. 5 Dec. 21, 2004 (CC)
Rev. 3 June 28, 1992 (CC) CC Rev. 6

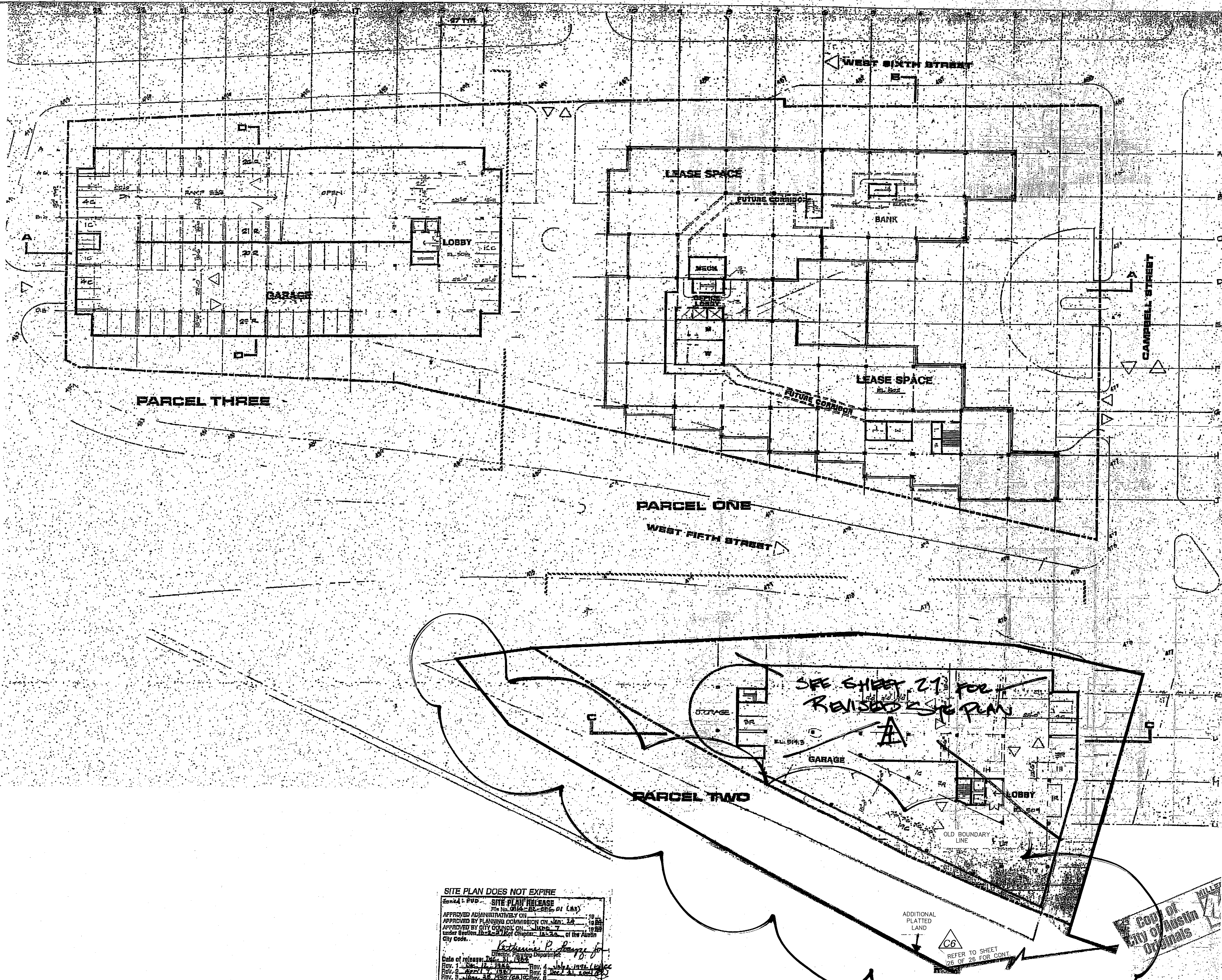


Copy of City of Austin
Permits

SHEET A
20 OF 27

C814-82-006.01 (83)

REPLACEMENT SHEET



E.M. SYKES CO.
Austin, Texas

Lake Austin Commons

SITE PLAN DOES NOT EXPIRE

SITE PLAN RELEASE
File No. 0166-21-016, 01 (83)

APPROVED ADMINISTRATIVE USE OF
APPROVED BY PLANNING COMMISSION ON Jan. 28, 1983
APPROVED BY CITY COUNCIL ON June 7, 1983
under Section 162-2.5, 2.6 of Chapter 162-2.0 of the Austin City Code.

Richard P. ...
Director, Planning Department

Date of release: Jan. 21, 1983
Rev. 1 - Dec. 17, 1983
Rev. 2 - Nov. 14, 1984
Rev. 3 - Nov. 24, 1987 (CA 12) Rev. 4

Ac 7/10/07 G.P.

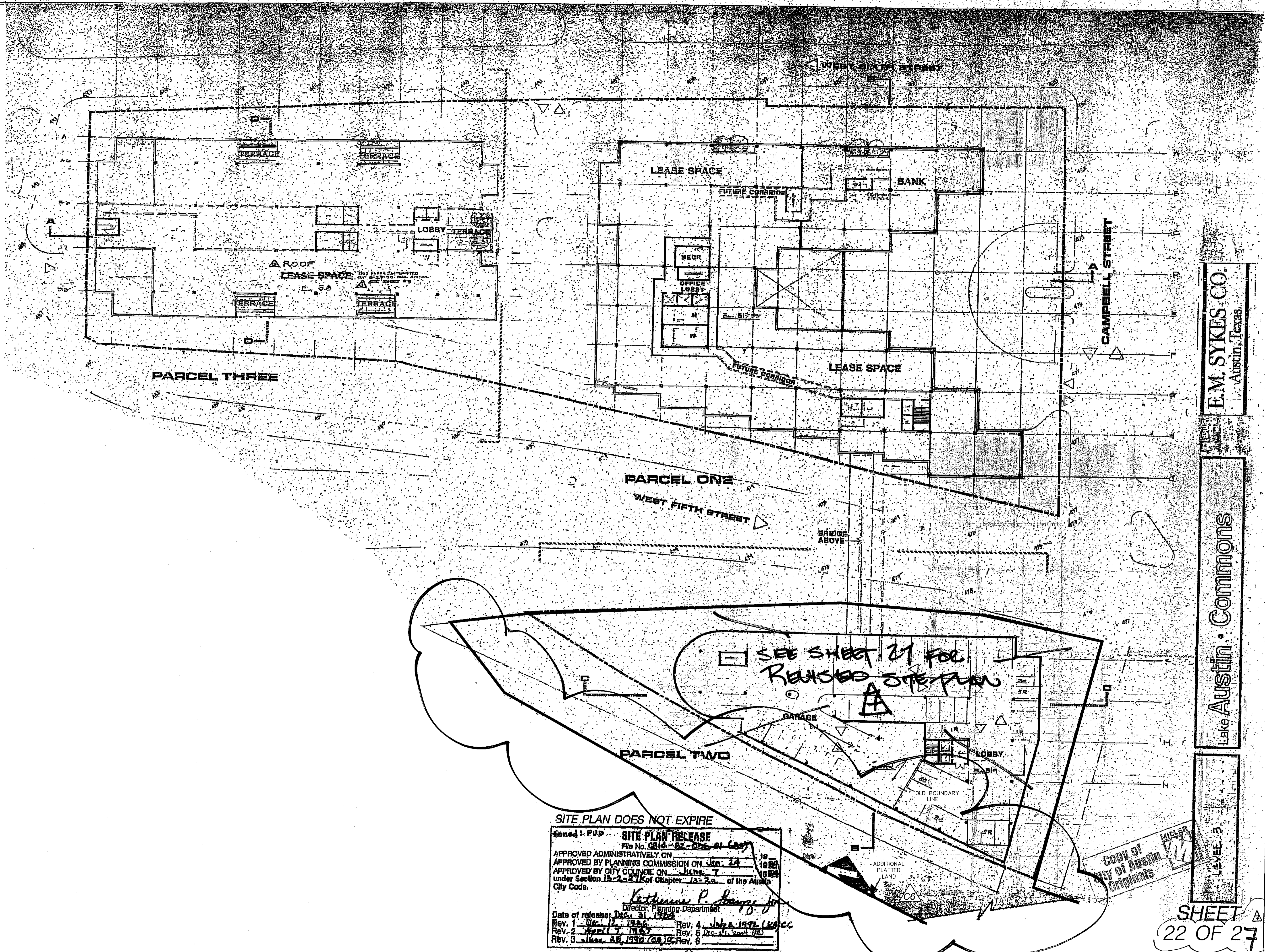
SEE SHEET 21 FOR REVISED SITE PLAN

Copy of City of Austin Originals

REFER TO SHEET 26 OF 26 FOR CONT.

SHEET 21 OF 27

REPLACEMENT SHEET C814-82-006.01 (83)



E.M. SYKES CO.
Austin, Texas

Lake Austin Commons

LEVEL 3

SITE PLAN DOES NOT EXPIRE

Zone 1: FUP... **SITE PLAN RELEASE**
File No. C814-82-006.01 (83)

APPROVED ADMINISTRATIVELY ON Dec. 31, 1984
APPROVED BY PLANNING COMMISSION ON Jan. 24, 1985
APPROVED BY CITY COUNCIL ON June 7, 1985
under Section 15-2-2.1K of Chapter 15-2.0 of the Austin City Code.

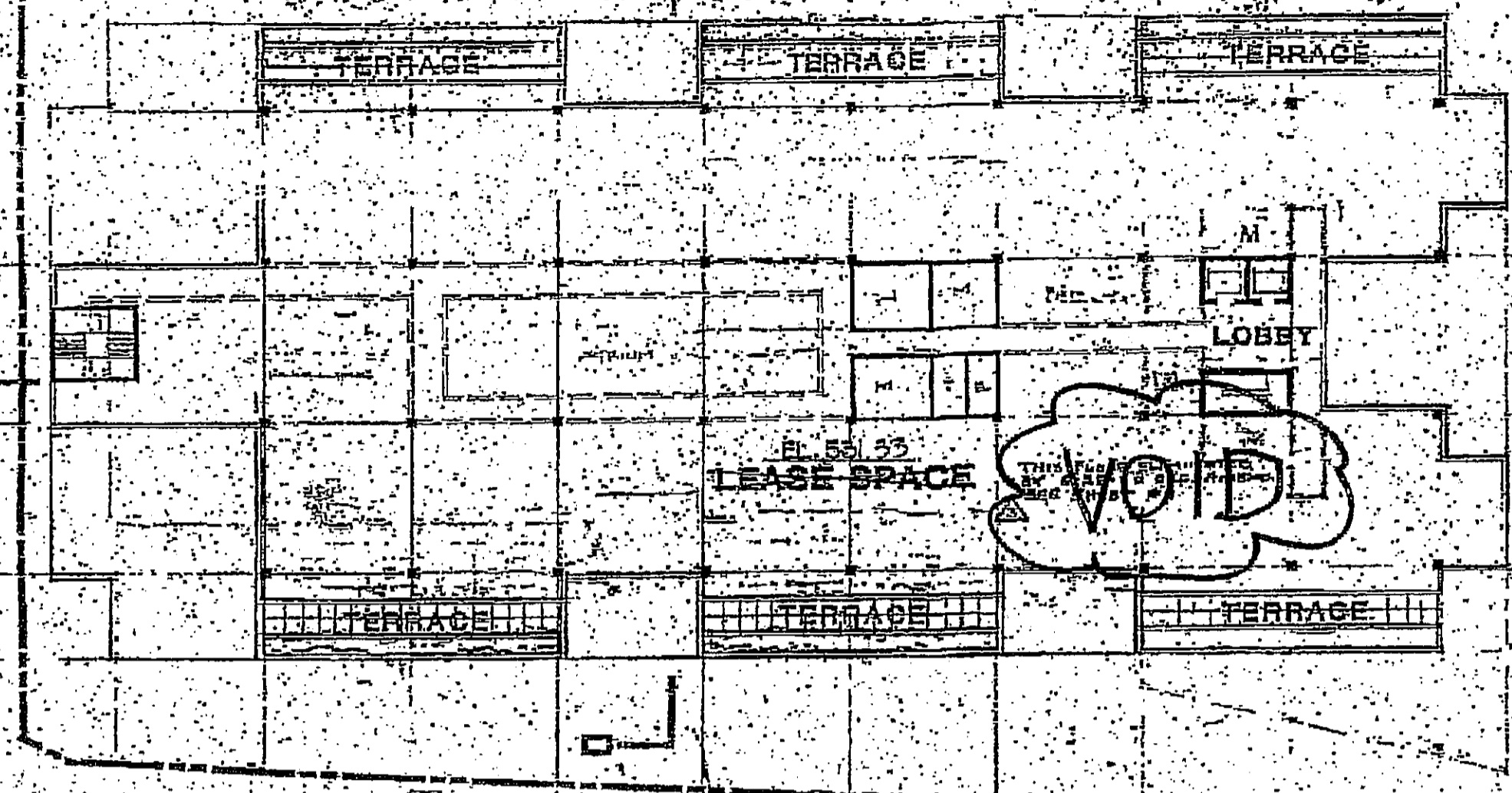
Katherine P. [Signature]
Director, Planning Department

Date of release: Dec. 31, 1984
Rev. 1 - Dec. 12, 1986 Rev. 4 - June 1992 (KJCC)
Rev. 2 - April 7, 1987 Rev. 5 - Dec. 21, 2007 (R)
Rev. 3 - Nov. 28, 1990 (CA) (R) Rev. 6

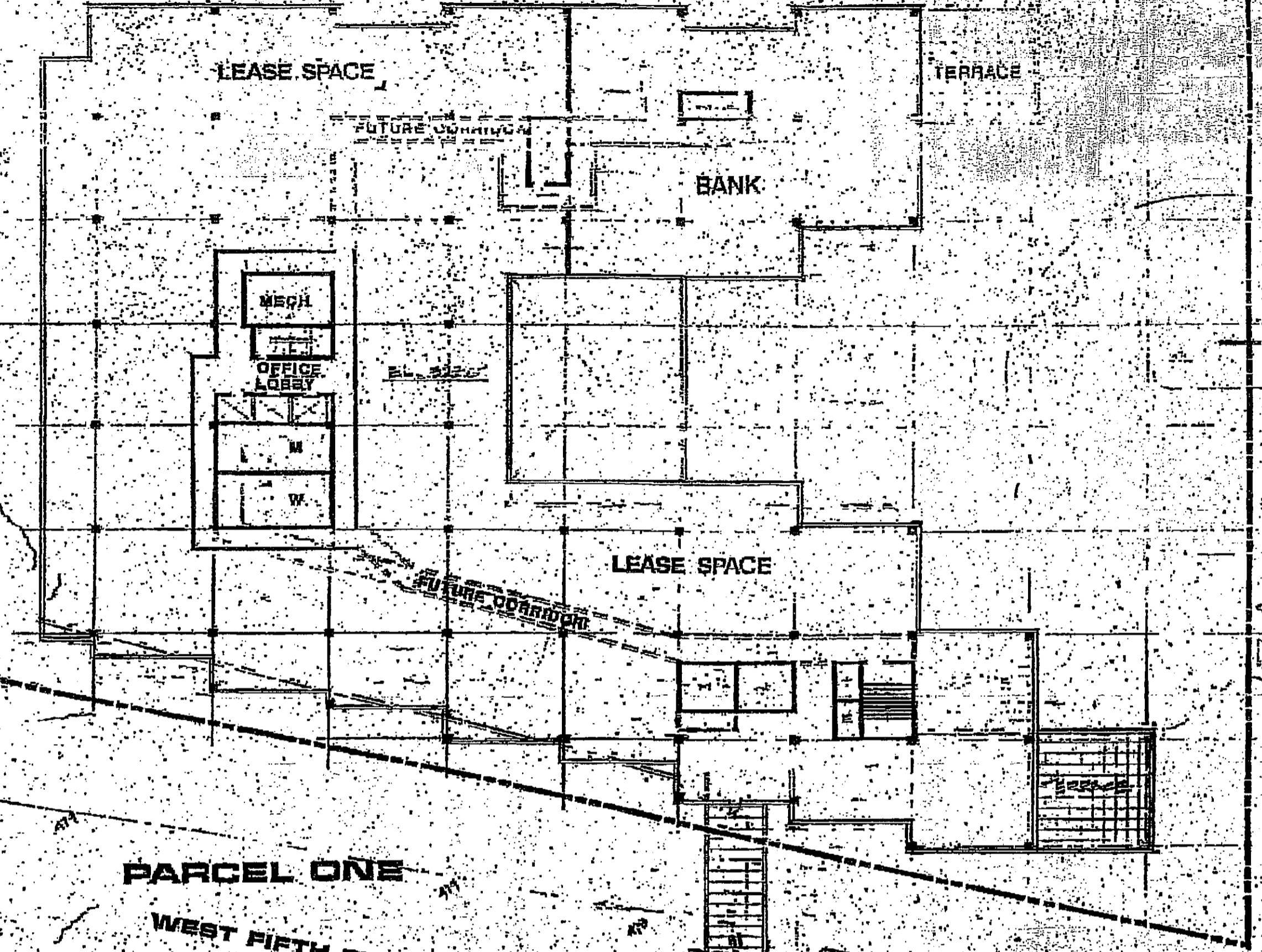
Copy of City of Austin Originals

SHEET **A**
22 OF 27

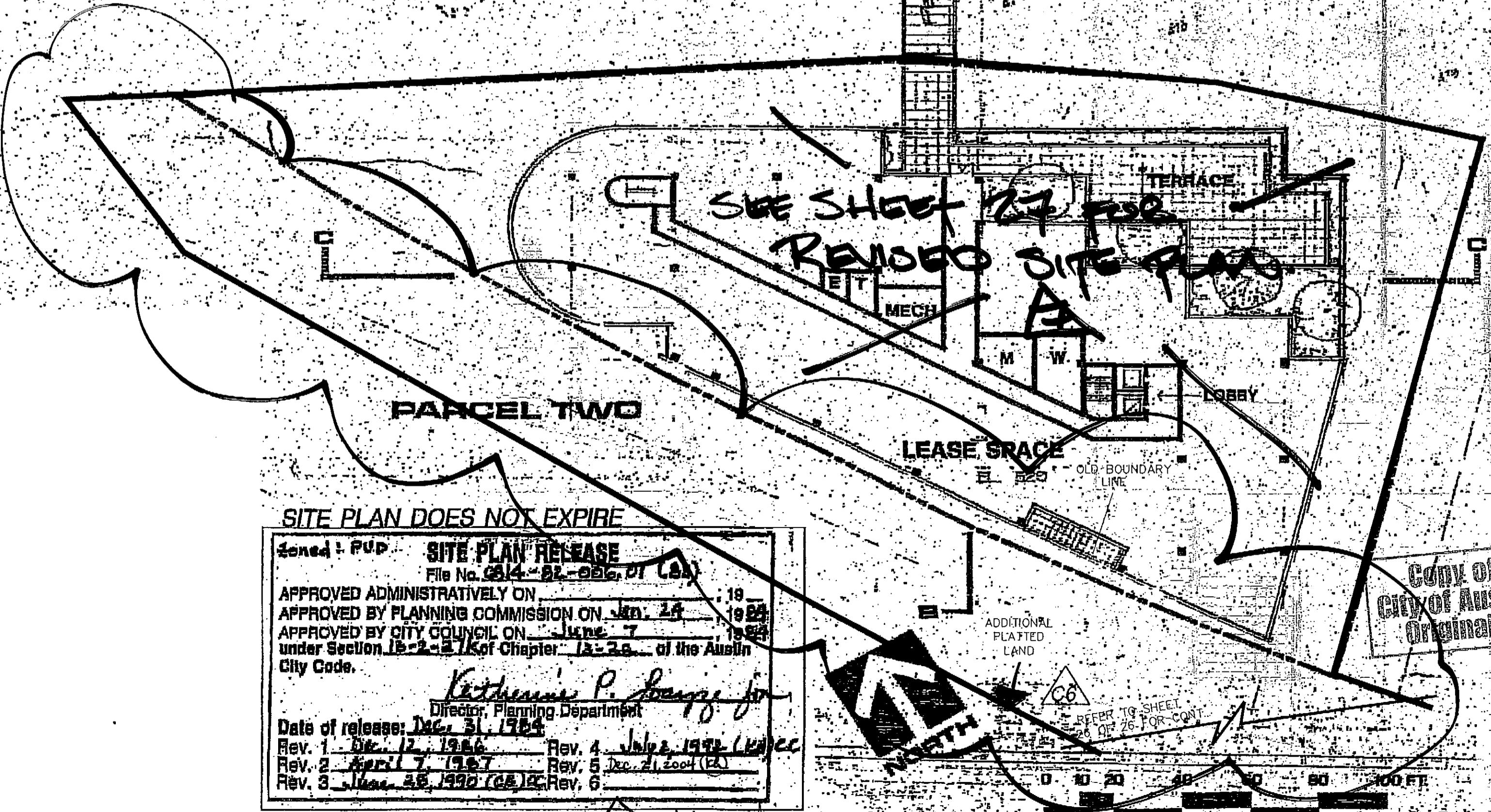
REPLACEMENT SHEET C814-82-006.01 (83)



PARCEL THREE



PARCEL ONE



PARCEL TWO

SITE PLAN DOES NOT EXPIRE

Issued: PUP **SITE PLAN RELEASE**
 File No. **C814-82-006.01 (A)**

APPROVED ADMINISTRATIVELY ON **Jan. 28, 1982**
 APPROVED BY PLANNING COMMISSION ON **Jan. 28, 1982**
 APPROVED BY CITY COUNCIL ON **June 7, 1982**
 under Section **12-2-1** of Chapter **12-2** of the Austin City Code.

Katherine P. Searcy for
 Director, Planning Department

Date of release: **Dec. 31, 1984**

Rev. 1 **Dec. 12, 1986** Rev. 4 **July 1992 (KSP)**
 Rev. 2 **April 7, 1987** Rev. 5 **Dec. 21, 2001 (CA)**
 Rev. 3 **June 28, 1997 (CA)** Rev. 6

Copy of
 City of Austin
 Originals

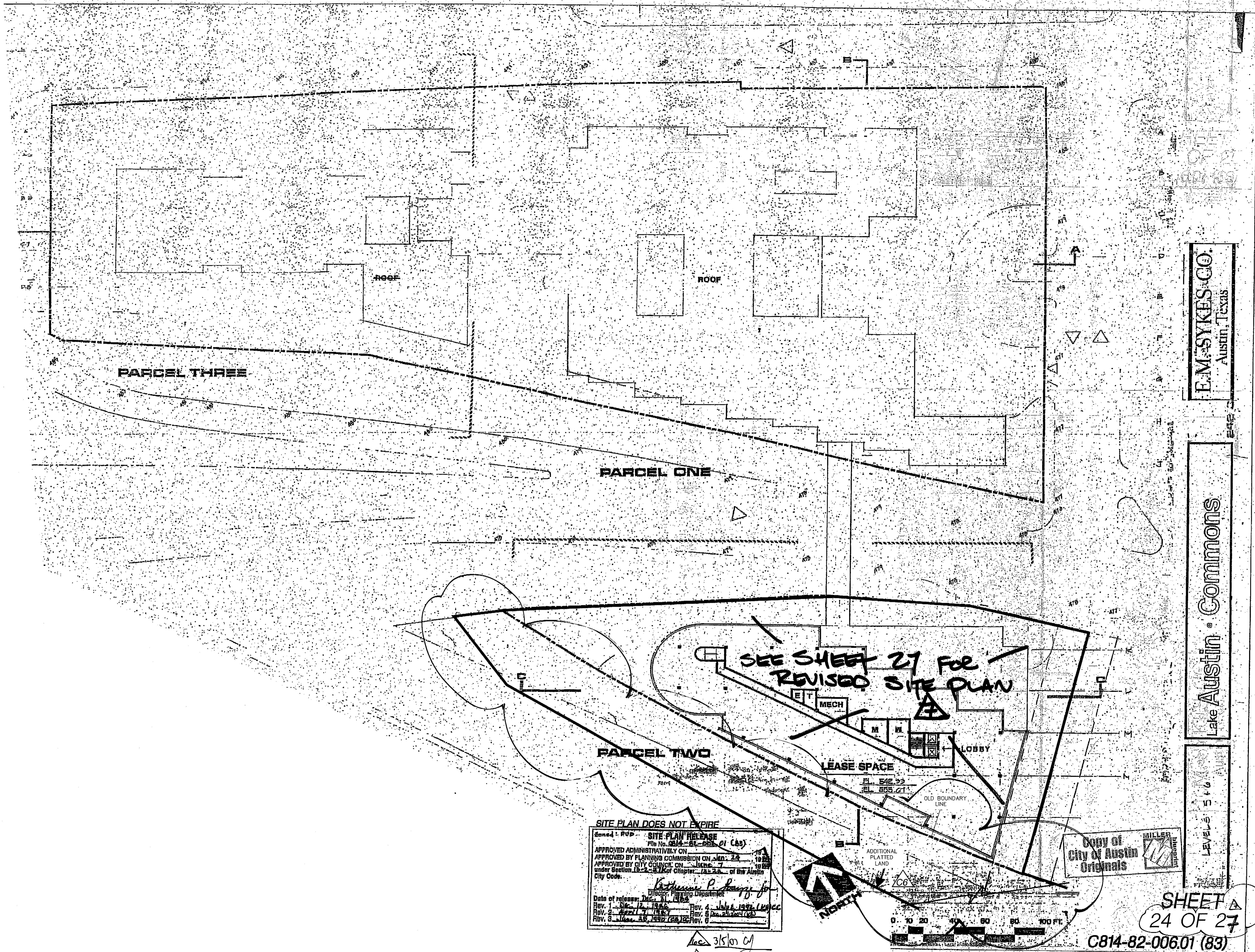
FISH
 E.M. SYKES CO
 AUSTIN, TEXAS

Lake Austin Commons

LEVEL 4

SHEET **A**
 23 OF 27

REPLACEMENT SHEET C814-82-006.01 (83)



E.M. SYKES CO.
Austin, Texas

Lake Austin Commons

LEVELS 5 + 6

SITE PLAN DOES NOT EXPIRE
 Sited: RUP
SITE PLAN RELEASE
 File No. C814-82-006.01 (83)
 APPROVED ADMINISTRATIVELY ON 10/18/83
 APPROVED BY PLANNING COMMISSION ON 10/24/83
 APPROVED BY CITY COUNCIL ON 11/14/83
 under Section 163.002 of Chapter 163, Title 11, of the Austin City Code.
 Date of release: 11/14/83
 Rev. 1 - 06-12-1986
 Rev. 2 - 02-17-1987
 Rev. 3 - 11-06-1988
 Rev. 4 - 07-08-1992
 Rev. 5 - 02-21-2001
 Rev. 6 - 08-12-2004

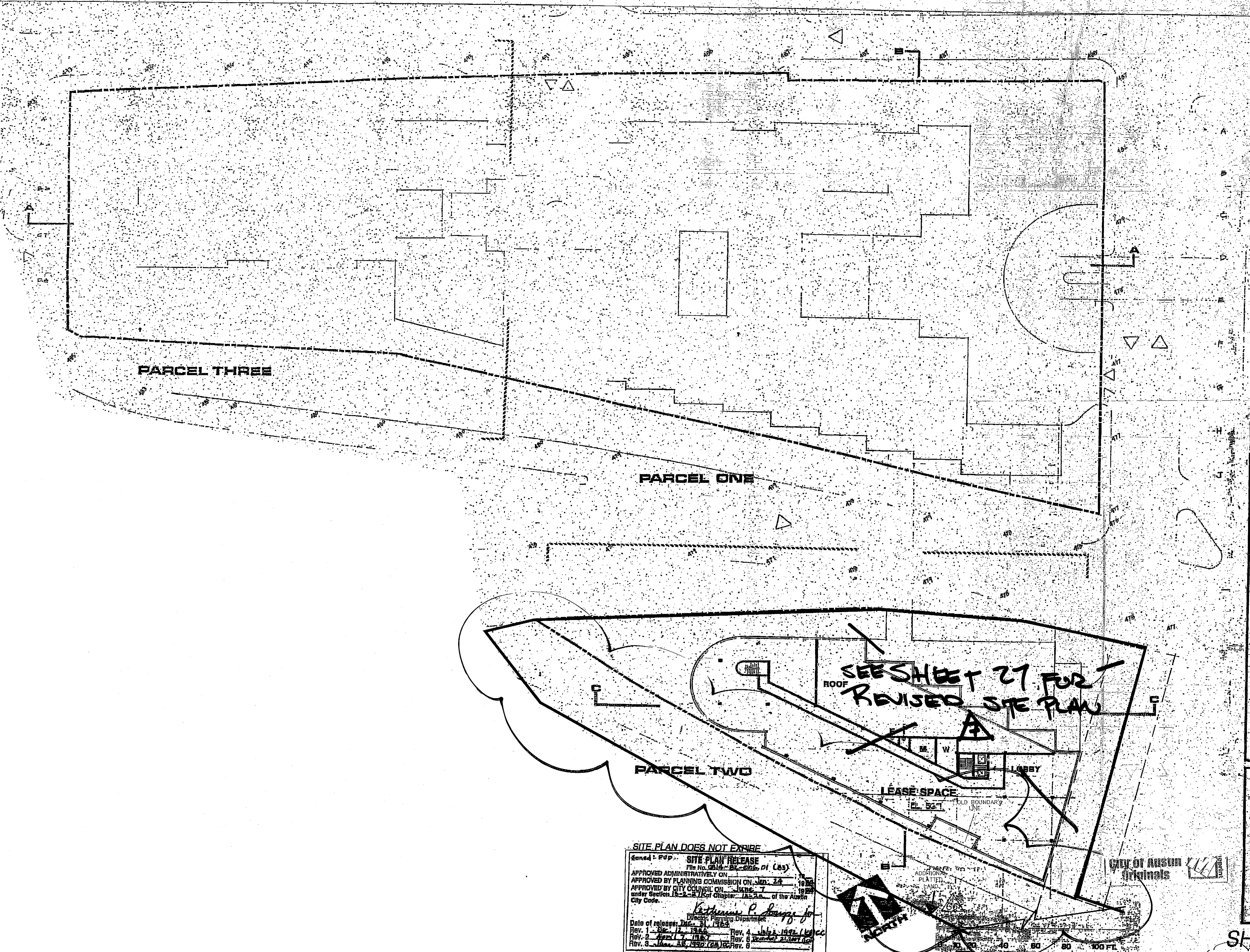
3/5/01
 7/10/07 GP

Copy of City of Austin Originals

SHEET 24 OF 27

C814-82-006.01 (83)

REPLACEMENT SHEET



PARCEL THREE

PARCEL ONE

PARCEL TWO

SEE SHEET 27 FOR
REVISED SITE PLAN

ROOF

LEASE SPACE

OLD BOUNDARY LINE

CITY OF AUSTIN ORIGINALS

E.M. SYKES CO.
Austin, Texas

Austin Commons
Lake Austin Commons

LEVEL 7

SITE PLAN DOES NOT EXPIRE

Served: PUP
SITE PLAN RELEASE
 File No. 0814-82-006.01 (83)

APPROVED ADMINISTRATIVELY ON 10/10/24
 APPROVED BY PLANNING COMMISSION ON 10/22/24
 APPROVED BY CITY COUNCIL ON 11/14/24
 under Section 16-2-2(a) of Chapter 163-2.01 of the Austin City Code.

Katherine P. ...
 Director, Planning Department

Date of release: 11/21/24
 Rev. 1 - 11/21/24
 Rev. 2 - 11/21/24
 Rev. 3 - 11/21/24
 Rev. 4 - 11/21/24
 Rev. 5 - 11/21/24
 Rev. 6 - 11/21/24

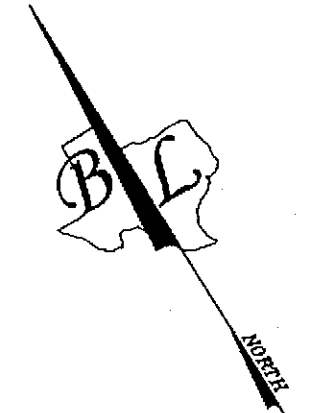
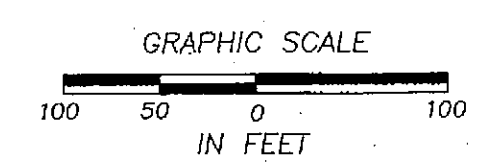
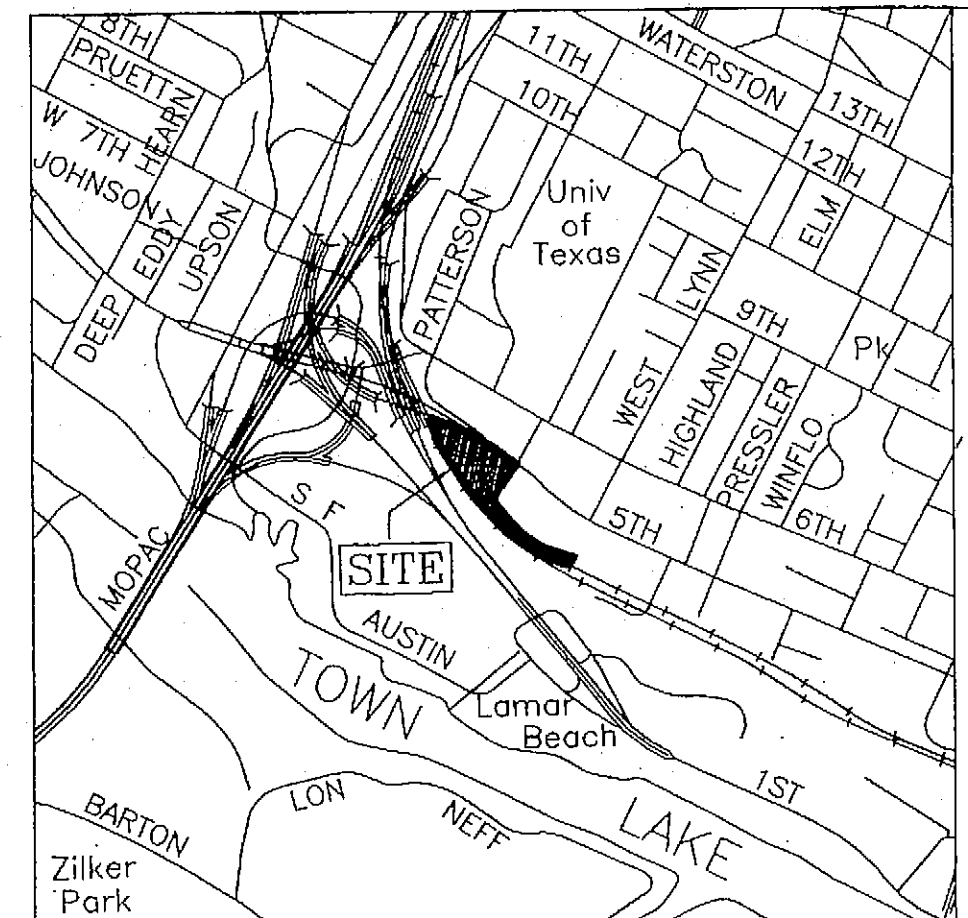


SHEET A
25' OF 27

REPLACEMENT SHEET C814-82-006.01 (83)

loc 3/5/21 cl
loc 7/10/21 6.2

200600208

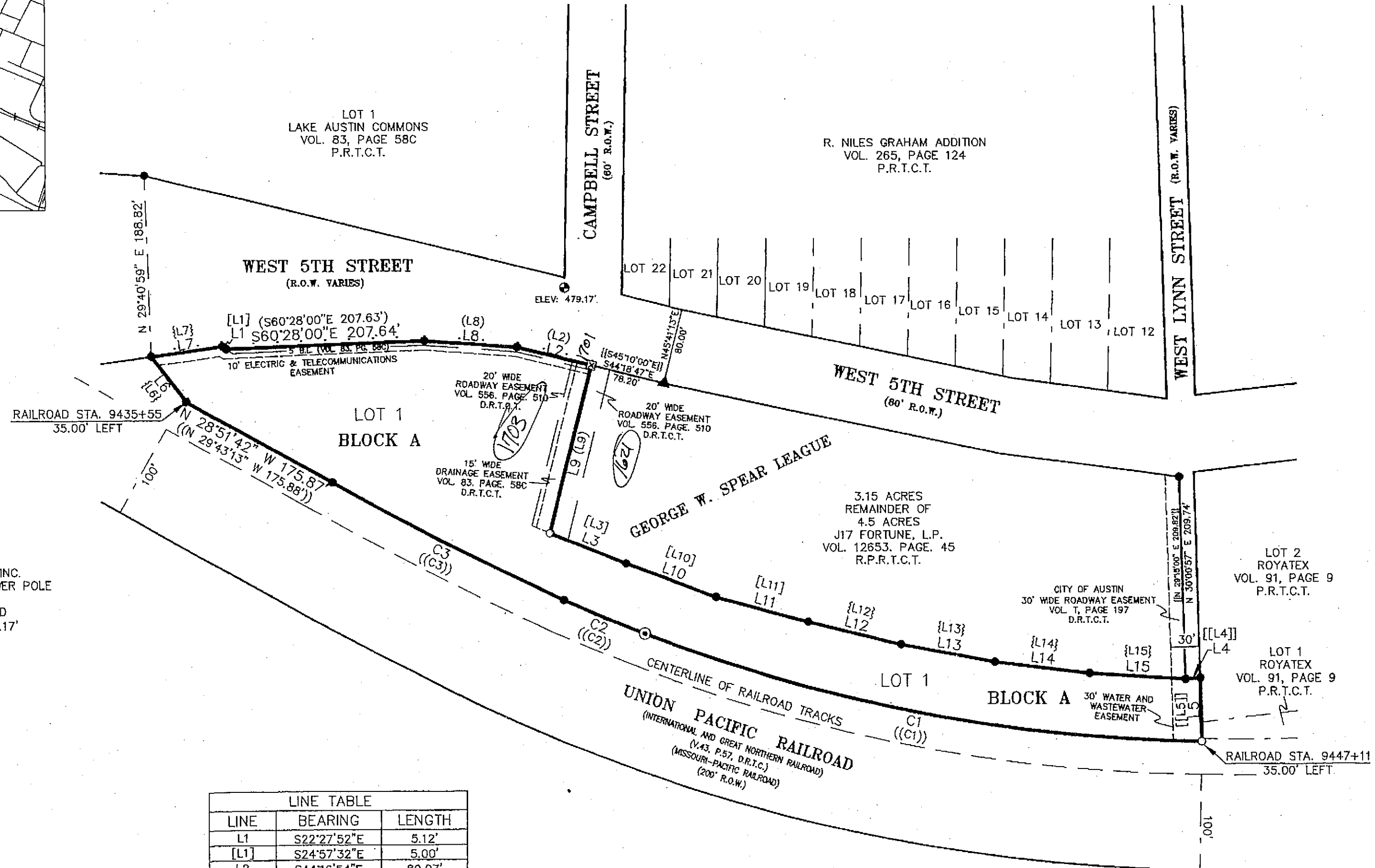


Base Line
 BASELINE LAND SURVEYORS, INC.
 PROFESSIONAL LAND SURVEYING SERVICES
 4000 W. BRIDGES BLVD., SUITE 100
 AUSTIN, TEXAS 78746
 OFFICE: 512-452-4054 FAX: 512-452-4572
 www.baselinesurveyors.com

HPE
 HANRAHAN + PRITCHARD ENGINEERING, INC.
 CONSULTING ENGINEERS
 4000 W. BRIDGES BLVD., SUITE 100
 AUSTIN, TEXAS 78746
 OFFICE: 512-452-4054 FAX: 512-452-4572
 www.hpe-engineers.com

**FINAL PLAT
 LAKE AUSTIN COMMONS II**

OWNER: LAKE AUSTIN COMMONS, LTD.
 ACREAGE: 2.58 ACRES
 SURVEY: GEORGE W. SPEAR LEAGUE
 DATE: JANUARY 15, 2006
 SURVEYOR: BASELINE LAND SURVEYORS, INC.
 ENGINEER: HANRAHAN PRITCHARD ENGINEERING, INC.
 B.M. INFORMATION: BENCHMARK: RAILROAD SPIKE IN POWER POLE
 AT THE NORTHWEST CORNER OF THE
 INTERSECTION WEST FIFTH STREET AND
 CAMPBELL STREET. ELEVATION = 479.17'



PHOTOGRAPHIC MYLAR

LEGEND

- SIDEWALKS
- 1/2" IRON REBAR FOUND
- IRON PIPE FOUND
- ⊗ "X" CUT IN CONCRETE FOUND
- 1/2" IRON REBAR SET
- WHICH READS "BASELINE INC"
- ▲ NAIL FOUND
- BENCHMARK
- R.O.W. RIGHT OF WAY
- () RECORD PER VOL. 83, PG. 58C
- () RECORD PER VOL. 12455, PG. 867
- () RECORD PER DOC. NO. 2001207621
- () RECORD PER DOC. NO. 2000198730
- () RECORD PER DOC. NO. 2000031178
- () RECORD PER VOL. 12653, PG. 45
- (D.R.T.C.T.) DEED RECORDS OF TRAVIS COUNTY, TEXAS
- (P.R.T.C.T.) PLAT RECORDS OF TRAVIS COUNTY, TEXAS
- (R.P.R.T.C.T.) REAL PROPERTY RECORDS OF TRAVIS COUNTY, TEXAS
- (O.P.R.T.C.T.) OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS

LINE	BEARING	LENGTH
L1	S22°27'52"E	5.12'
[L1]	S24°57'32"E	5.00'
L2	S44°16'54"E	60.07'
[L2]	S43°59'00"E	79.91'
L3	S36°22'07"E	85.81'
[L3]	S37°05'01"E	
L4	S63°00'01"E	15.55'
[L4]	S87°59'06"E	15.90'
L5	S30°20'18"W	65.25'
[L5]	S29°25'20"W	
L6	N06°01'47"W	59.92'
[L6]	N06°49'58"W	60.00'
L7	S65°54'54"E	75.08'
[L7]	S66°42'41"E	75.00'
L8	S63°58'35"E	97.36'
[L8]	S63°21'00"E	97.47'
L9	S45°40'13"W	180.71'
[L9]	S45°53'00"W	180.87'
L10	S37°58'37"E	99.89'
[L10]	S40°18'01"E	100.00'
L11	S43°11'33"E	100.04'
[L11]	S43°31'01"E	100.00'
L12	S44°25'19"E	99.89'
[L12]	S46°06'00"E	100.00'
L13	S47°38'08"E	99.86'
[L13]	S48°51'00"E	100.00'
L14	S51°19'03"E	99.97'
[L14]	S52°18'00"E	100.00'
L15	S64°51'30"E	100.61'
[L15]	S65°35'00"E	100.00'

CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	1687.33	596.60	201°53'	N47°20'38"W	583.50
(C1)	1687.33	596.61	201°53'	N48°13'22"W	583.50
C2	1468.49	91.51	3°34'14"	N38°01'25"W	91.50
(C2)	1468.49	91.47	3°34'08"	N38°54'19"W	91.46
C3	3588.28	271.34	4°19'57"	N31°13'53"W	271.27
(C3)	3588.28	271.35	4°19'58"	N32°06'31"W	271.29

C8-05-0260.0A

12876

Files: Projects \CAC\DWG\Final Plat.dwg
 Scale (Hori.): 1"=100' | Date: 04/25/06
 Drawn By: ISI
 Checked By: RLW
 Revision 1:
 Revision 2:
 Revision 3:
 Revision 4:

SHEET 01 of 02

SHEET ADDED 6

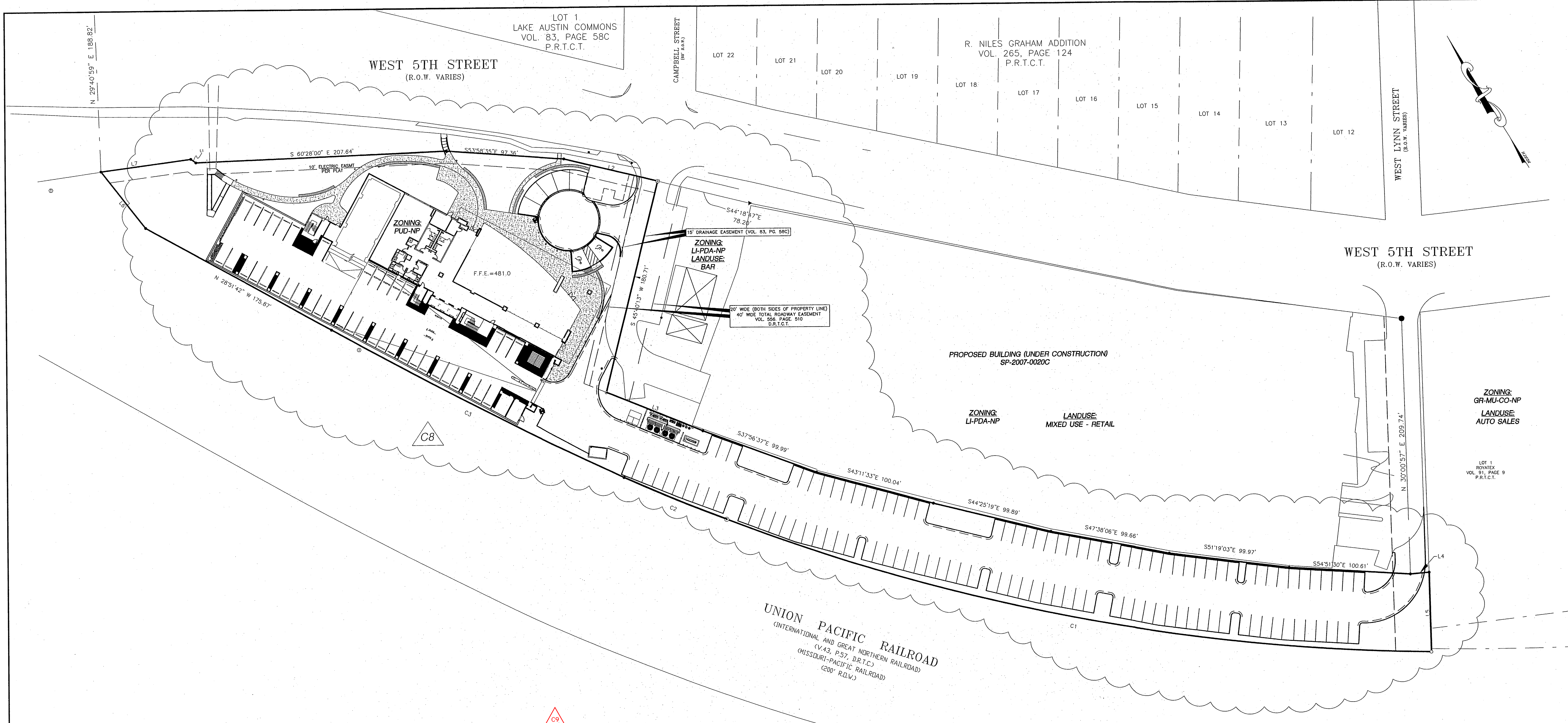
FOR CITY USE ONLY:

SITE PLAN RELEASE Sheet 26 of 26

FILE NUMBER: C8-14-82-006.01 EXPIRATION DATE: _____
 CASE MANAGER: _____ APPLICATION DATE: _____
 APPROVED ADMINISTRATIVELY ON: _____
 APPROVED BY PLANNING COMMISSION ON: 1-24-04
 APPROVED BY CITY COUNCIL ON: 6-7-04
 under Section 13-221 of Chapter 13-20 of The Austin City Code.

Wan
 Director, Department of Planning and Development
 DATE OF RELEASE: Dec. 3, 2004 Zoning: PUD

Rev. 1: _____ Correction 6/15/07
 Rev. 2: _____ Correction 7/10/07
 Rev. 3: _____ Correction 3



HANRAHAN • PRITCHARD ENGINEERING, INC.
CONSULTING ENGINEERS
8333 Cross Park Drive
AUSTIN, TEXAS 78754
OFFICE: 512.459.4734 FAX: 512.459.4752
info@hpe-eng.com

LAKE AUSTIN COMMONS
PHASE 4 SITE PLAN
1703 WEST 5TH STREET
AUSTIN, TX 78703

PHASE 4

LAND USE	PHASE 1	PHASE 2	PHASE 4-1 aka-3-1	PHASE 4-1 aka-3-1	PHASE 3-A	PHASE 3-B	PHASE 4	SUMMARY
MEDICAL	7234							7234
PERSONAL SERVICE	3390							3390
FURNITURE SALES	5911							5911
RESTAURANT					13764			13764
RETAIL FOOD SALES, OFFICE, AND ADDITIONAL PERMITTED USES:								
ART GALLERY, ART WORKSHOP, VET SVCS, CONSUMER CONVENIENCE SERVICES, CULTURAL SERVICES, FOOD SALES, GEN. RETAIL (GENERAL OR CONVENIENCE) PARK AND REC. SVC., RESIDENTIAL USES, RESTAURANT (LIMITED OR GENERAL) W/OUT DRIVE-IN SVCS, CONSUMER REPAIR SVCS, PERSONAL IMP. SVCS., PET SVCS., VET SVCS								
OFFICE	138940						120461	260,401
FINANCIAL SERVICE	13669							13669
LOBBY ENCLOSURE	450				13764		120461	304,819
PARKING PROVIDED	277	17			343	196	388	1221

TO BE REPLACED BY PHASE 3

PARKING AREA ADDED UNDER 4-1 IN PHASE 1 AREA

THIS AREA IS LOCATED ON LOT 2 TO BE REPLACED BY PHASE 4

CAUTION!
CONTRACTOR SHALL LOCATE ALL UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, PRIOR TO ANY SITE WORK BEING DONE. THE DESIGN ENGINEER WILL NOT BE RESPONSIBLE FOR DAMAGE TO ANY UTILITY, OR ANY CONFLICTS THAT MAY ARISE.

LINE TABLE

LINE	BEARING	LENGTH
L1	S22°27'52"E	5.12'
[L1]	S24°57'32"E	5.00'
L2	S44°16'54"E	80.07'
(L2)	S43°59'00"E	79.91'
L3	S36°22'07"E	85.81'
[L3]	S37°05'01"E	
L4	S63°00'01"E	15.55'
[[L4]]	S57°59'06"E	15.90'
L5	S30°20'18"W	65.25'
[[L5]]	S28°25'20"W	
L6	N06°01'47"W	59.92'
[L6]	N06°49'58"W	60.00'
L7	S65°54'54"E	75.08'
[L7]	S66°42'41"E	75.00'

CURVE TABLE

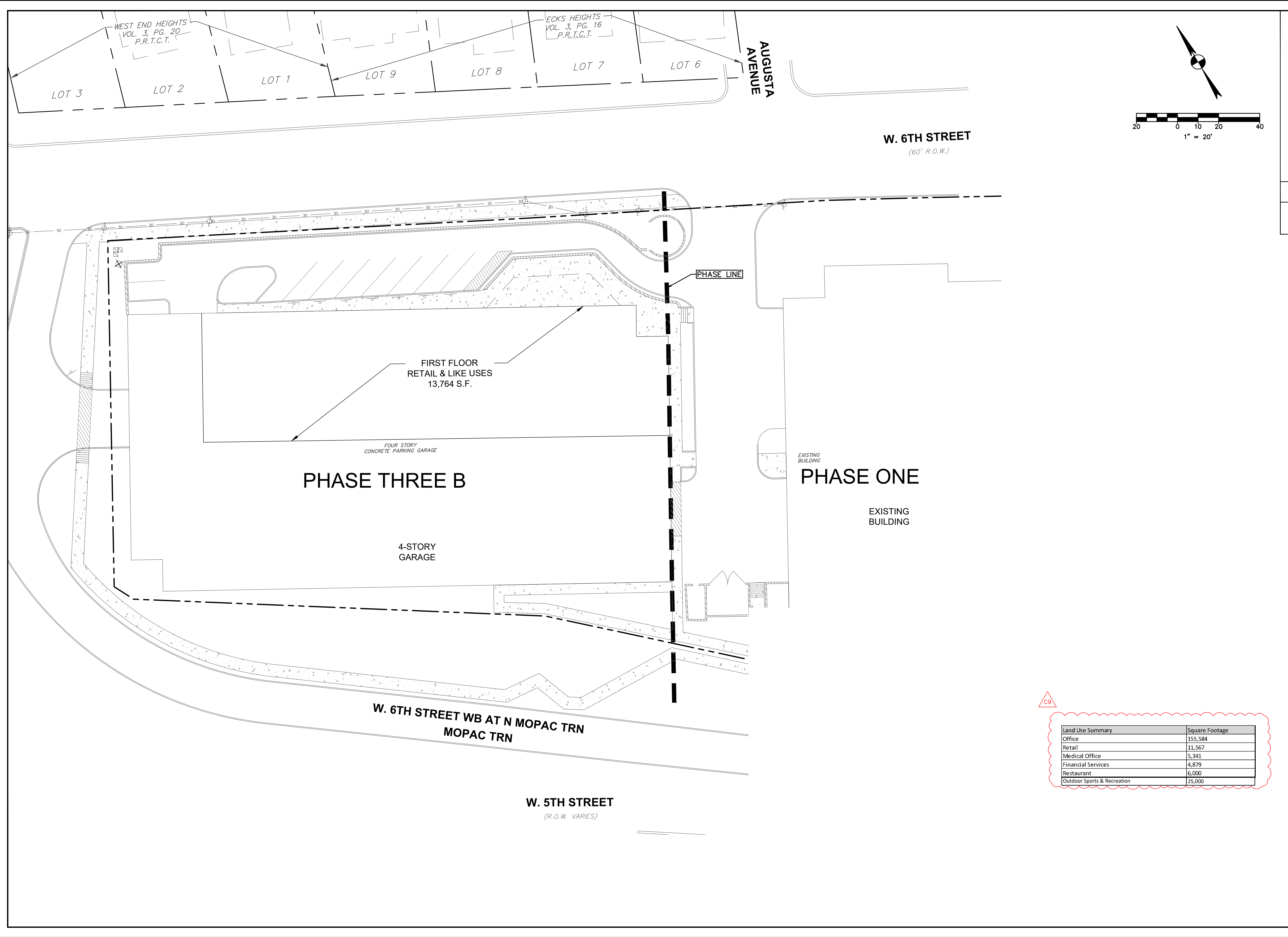
CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	1687.33	596.60	20°15'31"	N47°20'38"W	593.50
((C1))	1687.33	596.61	20°15'31"	N48°13'22"W	593.50
C2	1468.49	91.51	3°34'14"	N36°01'25"W	91.50
((C2))	1468.49	91.47	3°34'08"	N36°54'19"W	91.46
C3	3588.28	271.34	4°19'57"	N31°13'53"W	271.27
((C3))	3588.28	271.35	4°19'58"	N32°06'31"W	271.29

APPROVED
JUN 11 2008
CITY OF AUSTIN
WPRD
DEVELOPMENT SERVICES

RELEASE OF THIS APPLICATION DOES NOT CONSTITUTE A VERIFICATION OF ALL DATA INFORMATION AND CALCULATIONS SUPPLIED BY THE APPLICANT. THE ENGINEER OF RECORD IS SOLELY RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF HIS/HER SUBMITTAL, WHETHER OR NOT THE APPLICATION IS REVIEWED FOR CODE COMPLIANCE BY THE CITY ENGINEERS.

C814-82-006.01(83)

File: Projects/ LAKE AUSTIN II/HPE-BASE
Job No. 022-04 Snapshot PUD
Scale (Hor): 1"=40' Scale (Vert): NA
Date: 06/05/08 Checked By: SFJ Drawn By: RP
Revision 1: Revision 2: Revision 3: Revision 4:



REVISION	NO.	DATE

garza
 7708 Rialto Blvd., Suite 125
 Austin, Texas 78725
 Tel: (512) 298-3284 Fax: (512) 298-2592
 TBPE # F-14629
 Garza EMC, LLC © Copyright, 2024

PHASE THREE SITE PLAN

AUSTIN COMMONS P.U.D.
 1717 WEST 6TH STREET

C9

Land Use Summary	Square Footage
Office	155,584
Retail	11,567
Medical Office	5,341
Financial Services	4,879
Restaurant	6,000
Outdoor Sports & Recreation	25,000

DRAWN BY:
 DESIGNED BY:
 OA / OC:
 PROJECT NO.: 113669-0003

SHEET
28
 OF 28

V:\113669-0003\CH\00-CAD\113669-0003-SITE - OA.dwg modified by mingjey on May 9, 24 10:05 AM